



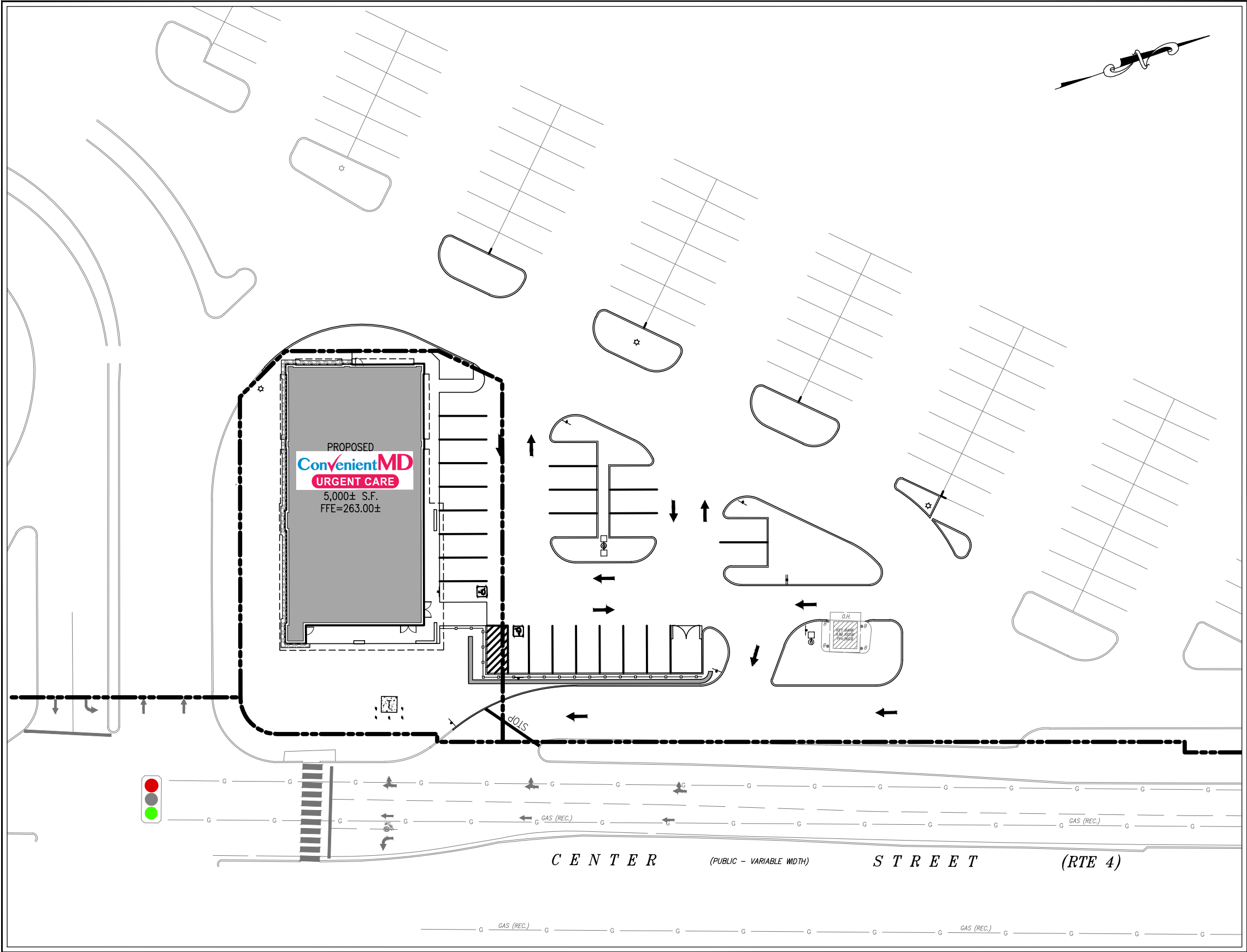
LOCUS PLAN
SCALE: 1"=500'±

SITE PLAN SET

FOR



600 CENTER STREET (ROUTE 4) AUBURN, ME 04210



OVERALL LAYOUT PLAN
SCALE: 1"=40'

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
□	■	CATCH BASIN
⊙	⊙	YARD DRAIN
⊙	⊙	DRAIN MANHOLE
⊙	⊙	SEWER MANHOLE
D	---	DRAIN PIPE
G	---	GAS LINE
OHW	---	OVERHEAD WIRES
---	---	UNDERGROUND ELECTRIC/TELEPHONE/CABLE LINE
S	---	SEWER LINE
W	---	WATER LINE
---	---	FORCE MAIN
---	---	FOUNDATION DRAIN
---	---	ROOF DRAIN
---	---	HYDRANT
---	---	SIGN
---	---	SITE LIGHT
---	---	UTILITY POLE
---	---	IRON PIPE/IRON PIN
---	---	OUTLET CONTROL STRUCTURE
---	---	FLARED END SECTION
---	---	CLEANOUT/NYLOPLAST
---	---	FENCE
---	---	GUIDERAIL
---	---	CONSTRUCTION FENCE
---	---	STONE WALL
---	---	MINOR CONTOUR
---	---	INDEX CONTOUR
---	---	TREE LINE
---	---	EXISTING BUILDINGS
---	---	PROPOSED BUILDING PAD FOOTPRINT
---	---	GRAVEL AREA
---	---	RIPRAP AREA
---	---	CONSTRUCTION ENTRANCE
---	---	EROSION CONTROL BARRIER
---	---	TEST PIT LOCATION
---	---	TOP/BOTTOM CURB ELEVATION
---	---	SPOT ELEVATION
---	---	NUMBER OF PARKING SPACES
---	---	CURB RADIUS
---	---	ACCESSIBLE PAVEMENT MARKINGS

GENERAL ABBREVIATIONS		
ASSESSORS PARCEL	A.P.	
BOTTOM OF CURB	BC	
BITUMINOUS CONCRETE	BIT. CONC	
BEST MANAGEMENT PRACTICE	BMP	
BORDERING VEGETATED WETLAND	BVW	
CATCH BASIN	CB	
CAPE COD BERM	CCB	
CELLAR FLOOR	CF	
CLEANOUT	CO	
CONCRETE SURFACE	CO CONC.	
DRAIN MANHOLE	DMH	
DIRECTION SIGN	DS	
EMERGENCY SPILLWAY	ES	
FLARED END SECTION	FES	
FOOTING DRAIN	FD	
HIGH DENSITY POLYETHYLENE	HDPE	
INVERT ELEVATION	I=	
LINEAL FEET	LF	
LIMIT OF WORK	LOW	
MATCH EXISTING	ME	
NOW OR FORMERLY	N/F	
NYLOPLAST DRAINAGE STRUCTURE	NP	
OUTLET CONTROL STRUCTURE	OCS	
PRECAST CONCRETE CURB	PCC	
RADIUS	X'R	
RIM ELEVATION	R=	
ROOF DRAIN	RD	
REMOVE	REM	
SPEED LIMIT	SL	
SUBSURFACE INFILTRATION SYSTEM	SIS	
TOP OF CURB	TC	
TOP OF FOUNDATION	TF	
TYPICAL	TYP.	
UNDERDRAIN	UD	
UTILITY POLE	UP	
WATER QUALITY UNIT	WQU	
VERTICAL GRANITE CURB	VGC	

SHEET NUMBER	DATE	REV.	SHEET DESCRIPTION
1	06/03/2022	-	COVER SHEET
2.1-2.3	04/11/2022	-	ALTA/NSPS LAND TITLE SURVEY
3	06/03/2022	-	DEMOLITION & EROSION CONTROL PLAN
4	06/03/2022	-	OVERALL SITE PLAN
5	06/03/2022	-	SITE PLAN
6	06/03/2022	-	GRADING & DRAINAGE PLAN
7	06/03/2022	-	UTILITY PLAN
8	06/03/2022	-	LANDSCAPE PLAN
9	06/03/2022	-	CONSTRUCTION DETAILS
10	06/03/2022	-	CONSTRUCTION DETAILS
11	06/03/2022	-	CONSTRUCTION DETAILS
12	06/03/2022	-	CONSTRUCTION DETAILS
-	04/11/2022	-	PLAN OF LAND
A201	04/12/2022	-	BUILDING ELEVATIONS
SE.02A & SE.02B	05/13/2022	-	SITE LIGHTING PLAN & NOTES

PREPARED BY:

CIVIL DESIGN
GROUP, LLC

21 HIGH STREET SUITE 207
NORTH ANDOVER, MA 01845
www.cdengineering.com

p: 978-794-5400
f: 978-965-3971

CONTACT: PHILIP HENRY, P.E.

PREPARED FOR:

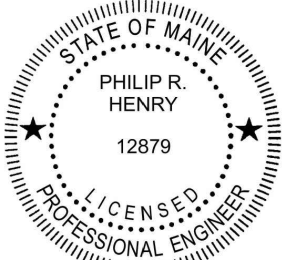
AUBURN CENTER STREET, LLC
632 WASHINGTON STREET
SOUTH EASTON, MA 02375

NOT FOR CONSTRUCTION

ISSUED TO:

CITY OF AUBURN

SEAL:



PHILIP R. HENRY, P.E.

SHEET:

COVER SHEET

1

CDG PROJECT #:

21017

NOTES:

1.

CURRENT OWNER OF RECORD: SHAWBURN REALTY COMPANY
SITE ADDRESS: 600 CENTER STREET, AUBURN, MAINE (ANDROSCOGGIN COUNTY)
ASSESSORS MAP: 291 LOT 001
DEED REFERENCE: BOOK 978, PAGE 406

2.

THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY ODONE SURVEY & MAPPING DURING JULY AND SEPTEMBER 2021. SURVEY BY TRIMBLE S6 TOTAL STATION.

3.

THE PROPERTY BOUNDARIES DEPICTED HEREON ARE BASED ON LOCATION OF EXISTING MONUMENTATION AND ITS APPARENT RELATIONSHIP TO THAT AS SHOWN PER THE PLAN REFERENCES AS NOTED. NO OPINIONS AS TO THE BOUNDARIES OF THIS PROPERTY ARE EITHER EXPRESSED OR IMPLIED AS A RESULT OF THIS SURVEY.

THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAT MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.

4.

THE BASIS OF BEARING FOR THIS SURVEY IS PER PLAN REFERENCE #1.

5.

AUBURN ZONING DISTRICT: GENERAL BUSINESS

6.

THE VERTICAL POSITIONS SHOWN ON THIS PLAN ARE BASED ON KEYNET RTK GPS NETWORK AND IS SUBJECT TO FURTHER ADJUSTMENT TO ANY LOCAL NGS BENCHMARKS. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.

7.

UTILITY NOTE: LOCATION OF UTILITIES SHOWN HEREON WERE DETERMINED BY OBSERVATION OF ABOVE GROUND EVIDENCE TOGETHER WITH PLANS OF RECORD. THE RELATIONSHIP BETWEEN ACTUAL FIELD LOCATION AND LOCATION SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED ON THIS PLAN. BEFORE CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233

8.

ALL BOOK AND PAGE NUMBERS REFER TO THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS.

9.

THE ASSESSOR MAP AND LOT NUMBERS ARE BASED ON THE CITY OF AUBURN TAX RECORDS AND ARE SUBJECT TO CHANGE.

10.

RESEARCH WAS PERFORMED AT THE CITY OF AUBURN ASSESSORS OFFICE, THE MAINE DEPARTMENT OF TRANSPORTATION, THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS.

11.

FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230171 0004 C, WHICH BEARS AN EFFECTIVE DATE OF JULY 5, 1984 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

12.

ANY USE OF THIS PLAT AND / OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.

13.

EXCEPTIONS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS ARE AS FOLLOWS:
A) NO SURVEYORS REPORT WAS PREPARED.
B) MONUMENTS WERE NOT SET AT ALL ANGLE POINTS OR CORNERS.
C) NO REVISED LEGAL DESCRIPTION PREPARED.

PLAN REFERENCES:

1.

SEE PLAN ENTITLED "SUBDIVISION PLAN, AUBURN PLAZA, CENTER STREET ANDROSCOGGIN COUNTY, AUBURN, MAINE" DATED 4/06/1990 BY A.L&H. SURVEYORS & ENGINEERS, INC., RECORDED AT THE A.C.R.D. IN PLAN BOOK 35, PAGE 128.

2.

SEE PLAN ENTITLED "FINAL PLAN, SHAW'S REALTY CO., CENTER STREET, AUBURN, MAINE" DATED MAY 17, 1979 BY ALIBERTI, LAROCHELLE & HODSON ENGINEERING CORP., INC., RECORDED AT THE A.C.R.D. IN PLAN BOOK 28, PAGES 145-147.

3.

SEE PLAN ENTITLED "PLAN OF AUBURN MALL FOR ARLEN SHOPPING CENTERS, CO." PREPARED BY HUMPHREYS & ASSOCIATES INC. DATED SEPTEMBER 16, 1977, REVISED THROUGH NOVEMBER 7, 1977 AND RECORDED IN THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN PLAN BOOK 28, PAGES 37 AND 38.

4.

SEE PLAN ENTITLED "MAINE STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY 18, AUBURN, ANDROSCOGGIN COUNTY, STATE PROJECT NO. 918-1(502) SECTION 4" DATED SEPTEMBER 1970.

5.

SEE PLAN ENTITLED "MAINE STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY 21, AUBURN, ANDROSCOGGIN COUNTY, STATE PROJECT NO. U-021-1(6) & F-021-1(5)" DATED OCTOBER 1962.

EXCEPTIONS – SCHEDULE B, SECTION 2

✱

EXCEPTIONS FROM COVERAGE, SCHEDULE B SECTION 2, COMMITMENT FOR TITLE INSURANCE NO. 21--01791N--FN ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY DATED AUGUST 4, 2021.

NOTE: EXCEPTION ITEMS NOT LISTED BELOW ARE STANDARD TITLE EXCEPTIONS AND/OR ARE NOT MATTERS OR ISSUES THAT PERTAIN TO THIS SURVEY.

11.

RIGHTS AND EASEMENTS GRANTED TO CENTRAL MAINE POWER COMPANY BY VIRTUE OF AN INSTRUMENT FROM SHAWBURN REALTY CO. DATED MAY 7, 1965 AND RECORDED IN THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN BOOK 954, PAGE 548. (EASEMENT IS LOCATED OUTSIDE OF THE PROJECT AREA AND DOES NOT AFFECT THE PROPOSED PREMISE BOUNDARY)

12.

RIGHTS AND EASEMENTS GRANTED TO CENTRAL MAINE POWER COMPANY BY VIRTUE OF AN INSTRUMENT FROM SHAWBURN REALTY CO. DATED SEPTEMBER 10, 1965 AND RECORDED IN THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN BOOK 954, PAGE 549. (EASEMENT IS LOCATED OUTSIDE OF THE PROJECT AREA AND DOES NOT AFFECT THE PROPOSED PREMISE BOUNDARY)

13.

SUCH STATE OF FACTS AS SHOWN AND DEPICTED ON A PLAN OF AUBURN MALL FOR ARLEN SHOPPING CENTERS, CO. PREPARED BY HUMPHREYS & ASSOCIATES INC. DATED SEPTEMBER 16, 1977, REVISED THROUGH NOVEMBER 7, 1977 AND RECORDED IN THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN PLAN BOOK 28, PAGES 37 AND 38. AS AFFECTED BY AN AGREEMENT OF RELEASE OF BUILDING RESTRICTIONS BY AND BETWEEN AUBURN PLAZA, INC., AND AUBURN CENTER STREET, LLC. DATED FEBRUARY 11, 2022 AND RECORDED IN SAID REGISTRY OF DEEDS IN BOOK 11033, PAGE 341. (PLOTTED-EASEMENT AREA AS SHOWN)

14.

RIGHTS, EASEMENTS, TERMS AND CONDITIONS AS SET FORTH IN A GRANT OF EASEMENTS MADE BY AND BETWEEN SHAW'S REALTY CO. AND ARLEN REALTY, INC. DATED APRIL 5, 1978 AND RECORDED IN THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN BOOK 1328, PAGE 285, AS AFFECTED BY AN AGREEMENT OF RELEASE OF BUILDING RESTRICTIONS BY AND BETWEEN AUBURN PLAZA, INC., AND AUBURN CENTER STREET, LLC. DATED FEBRUARY 11, 2022 AND RECORDED IN SAID REGISTRY OF DEEDS IN BOOK 11033, PAGE 341. (PLOTTED-EASEMENT AREA AS SHOWN)

15.

RIGHTS AND EASEMENTS GRANTED TO THE STATE OF MAINE BY VIRTUE OF A DEED FROM SHAW'S REALTY CO. DATED DECEMBER 7, 1978 AND RECORDED IN THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN BOOK 1381, PAGE 341. (PLOTTED-EASEMENT AREA AS SHOWN)

16.

RIGHTS AND EASEMENTS GRANTED TO CENTRAL MAINE POWER COMPANY BY VIRTUE OF AN INSTRUMENT FROM SHAW'S REALTY CO. DATED OCTOBER 5, 1990 AND RECORDED IN THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN BOOK 2635, PAGE 11. (PLOTTED-EASEMENT AREA AS SHOWN-HAS NO DEFINED WIDTH)

TABLE A NOTES:

1.

PROPERTY HAS DIRECT ACCESS TO CENTER STREET THROUGH ACCESS POINTS AS SHOWN. THERE ARE NO PROPERTY LINES LOCATED WITHIN THE BOUNDS OF SAID STREETS.

2.

THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE SUBJECT PROPERTY IS XX, INCLUDING XX DESIGNATED HANDICAP SPACES.

3.

THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

4.

THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, ACCORDING TO, THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

5.

THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

6.

UTILITY NOTE: LOCATION OF UTILITIES SHOWN HEREON WERE DETERMINED BY OBSERVATION OF ABOVE GROUND EVIDENCE TOGETHER WITH PLANS OF RECORD. THE RELATIONSHIP BETWEEN ACTUAL FIELD LOCATION AND LOCATION SHOWN HEREON MUST BE CONSIDERED APPROXIMATE. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AS INDICATED ON THIS PLAN. BEFORE CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233.

PROPERTY DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATED IN THE CITY OF AUBURN, ANDROSCOGGIN COUTY, STATE OF MAINE AND BEING BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY SIDE OF CENTER STREET (STATE HIGHWAY 21), SAID POINT BEING LOCATED 66 FEET WESTERLY FROM AND MEASURED AT RIGHT ANGLES TO THE 1978 BASELINE AT STATION 75+50; THENCE N.70°48'39"W., A DISTANCE OF 114.57 FEET; THENCE N.25°42'01"W., A DISTANCE OF 24.66 FEET; THENCE N.19°11'21"E., A DISTANCE OF 58.10 FEET; THENCE N.44°41'30"E., A DISTANCE OF 27.06 FEET; THENCE S.70°48'39"E., A DISTANCE OF 137.51 FEET TO THE WESTERLY SIDELINE OF SAID CENTER STREET; THENCE S.19°17'43"W., A DISTANCE OF 25.03 FEET; THENCE N.70°42'17"W., A DISTANCE OF 3.00 FEET; THENCE S.19°17'43"W., A DISTANCE OF 61.00 FEET TO A POINT OF CURVE; THENCE SOUTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 14.00 FEET AND A CENTRAL ANGLE OF 90°00'00"; ALONG THE ARC A DISTANCE OF 21.99 FEET TO THE POINT OF BEGINNING.
CONTAINING 14,346 SQUARE FEET OR 0.329 ACRES, MORE OR LESS.

REVISIONS:

REV	DATE	COMMENT
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SURVEY BY:

O

S

M

ODONE SURVEY & MAPPING

SURVEYING ~ MAPPING ~ PLANNING & CONSULTING

291 Main Street, Suite 5
Northborough, MA 01532
Tel.: 508-351-6022 Fax: 508-351-6633

I CERTIFY EXCLUSIVELY TO THE CLIENT THAT THIS SURVEY PLAT WAS MADE TO THE NORMAL STANDARD OF CARE AND THIS SURVEY GENERALLY CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS.

TO: AUBURN CENTER STREET, LLC AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 7A, 7B1, 7C, 8, 9, 11, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 13, 2021.

STATE OF MAINE

MICHAEL W. BOUFFARD

No. 10000

LAND SURVEYOR



MICHAEL W. BOUFFARD PLS #2297

CIVIL ENGINEER:

CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgenengineering.com
p: 978-794-5400 f: 978-914-6161

PREPARED FOR:

AUBURN CENTER STREET, LLC

632 WASHINGTON STREET
SOUTH EASTON, MA 02375

PROJECT:

PROPOSED MEDICAL OFFICE DEVELOPMENT

600 CENTER STREET
AUBURN, ME 04210

SHEET:

ALTA/NSPS LAND TITLE SURVEY

2.1

DATE OF SURVEY:

FEBRUARY 23, 2022

DATE LAST REVISED:

APRIL 11, 2022

SCALE:

AS SHOWN

DWG FILE:

1420-01A

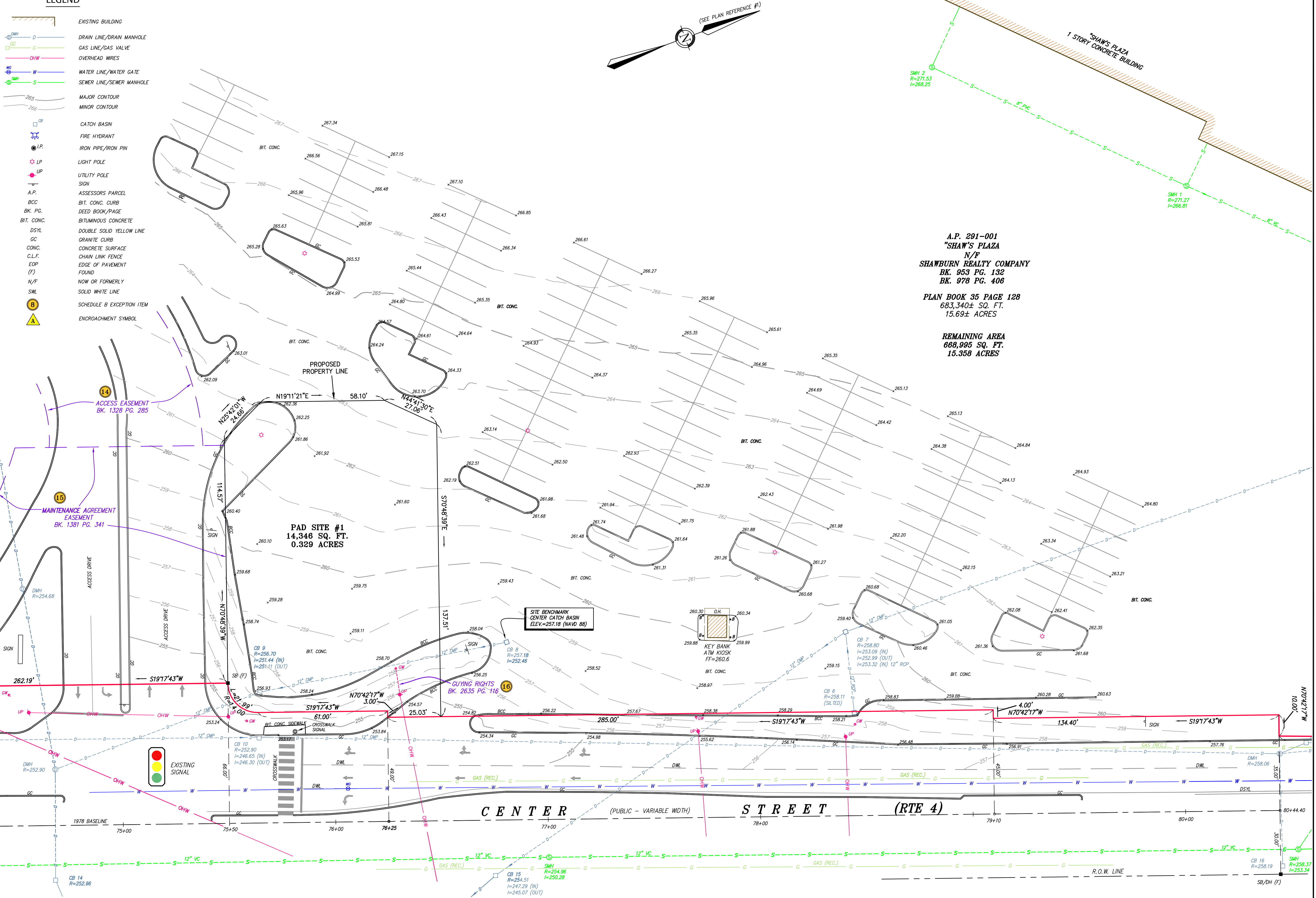
CDG PROJECT NO.:

21017

SEE SHEET 2 FOR TOPOGRAPHIC DETAIL AND SHEET 3 FOR OVERALL BOUNDARY

LEGEND

- EXISTING BUILDING
- DRAIN LINE/DRAIN MANHOLE
- GAS LINE/GAS VALVE
- OVERHEAD WIRES
- WATER LINE/WATER GATE
- SEWER LINE/SEWER MANHOLE
- MAJOR CONTOUR
- MINOR CONTOUR
- CATCH BASIN
- FIRE HYDRANT
- IRON PIPE/IRON PIN
- L.P.
- LP
- UP
- UTILITY POLE
- SIGN
- ASSESSORS PARCEL
- BIT. CONC. CURB
- DEED BOOK/PAGE
- BITUMINOUS CONCRETE
- DOUBLE SOLID YELLOW LINE
- GC
- CONC.
- C.L.F.
- EOP
- (F)
- N/F
- S.W.L.
- 8
- ENCROACHMENT SYMBOL



REVISIONS:

REV	DATE	COMMENT
1		
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9		

SURVEY BY:

ODONE SURVEY & MAPPING

SURVEYING ~ MAPPING ~ PLANNING & CONSULTING

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MICHAEL W. BOUFFARD PLS #2297

CIVIL ENGINEER:

CIVIL DESIGN GROUP, LLC

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PROPOSED MEDICAL OFFICE DEVELOPMENT

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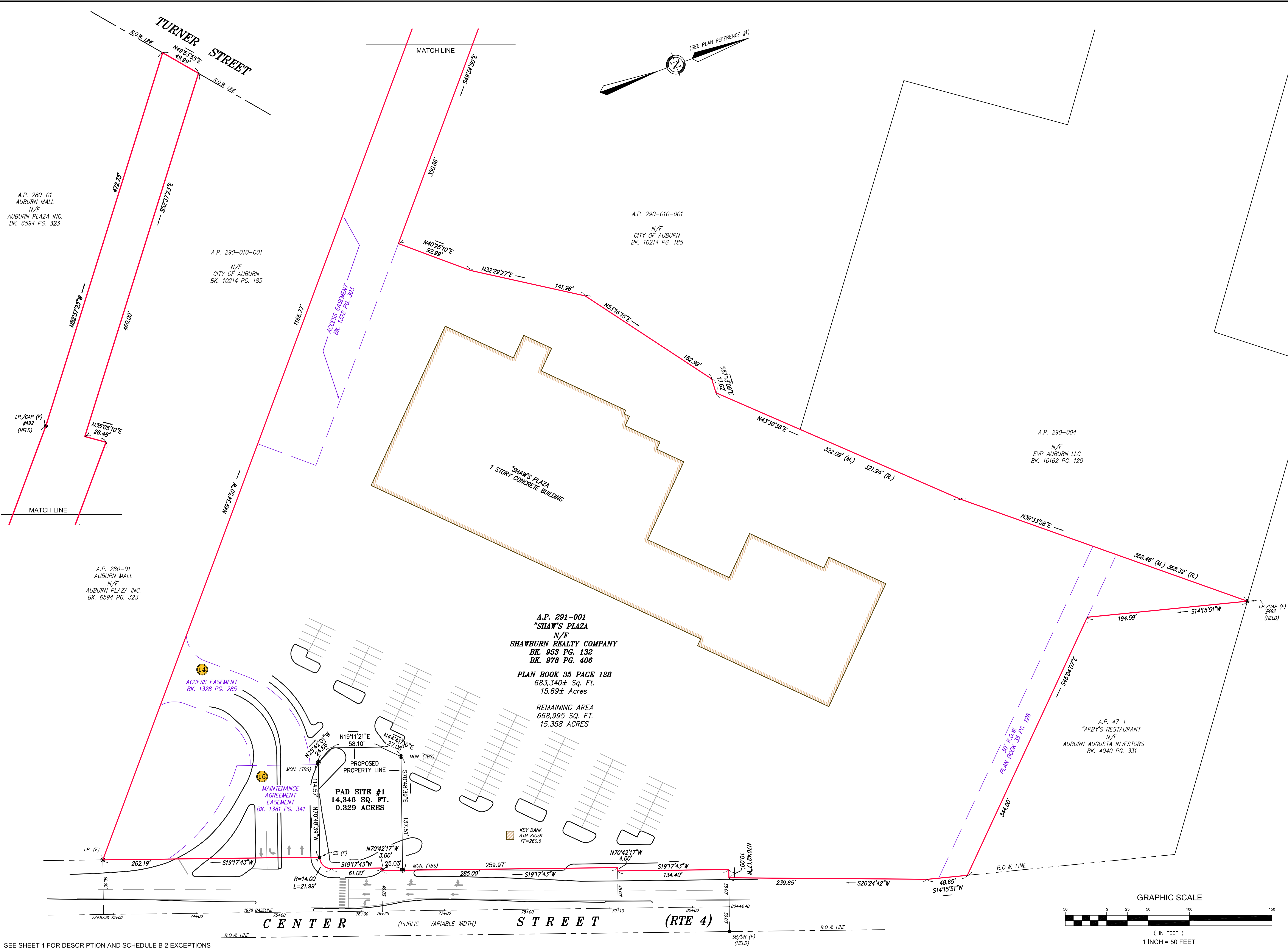
SHEET:

ALTA/NSPS LAND TITLE SURVEY

2.2

DATE OF SURVEY: FEBRUARY 23, 2022
DATE LAST REVISED: APRIL 11, 2022

SCALE: 1 INCH=20 FEET
DWG FILE: 1420-01A
CDG PROJECT NO.: 21017



SEE SHEET 1 FOR DESCRIPTION AND SCHEDULE B-2 EXCEPTIONS

REVISIONS:		
REV	DATE	COMMENT
1		
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9		

OSM

SURVEYING ~ MAPPING ~ PLANNING & CONSULTING

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PROJECT:

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600 CENTER STREET
AUBURN, ME 04210

SHEET:

ALTA/NSPS LAND TITLE SURVEY

2.3

DATE OF SURVEY: FEBRUARY 23, 2022

DATE LAST REVISED: APRIL 11, 2022

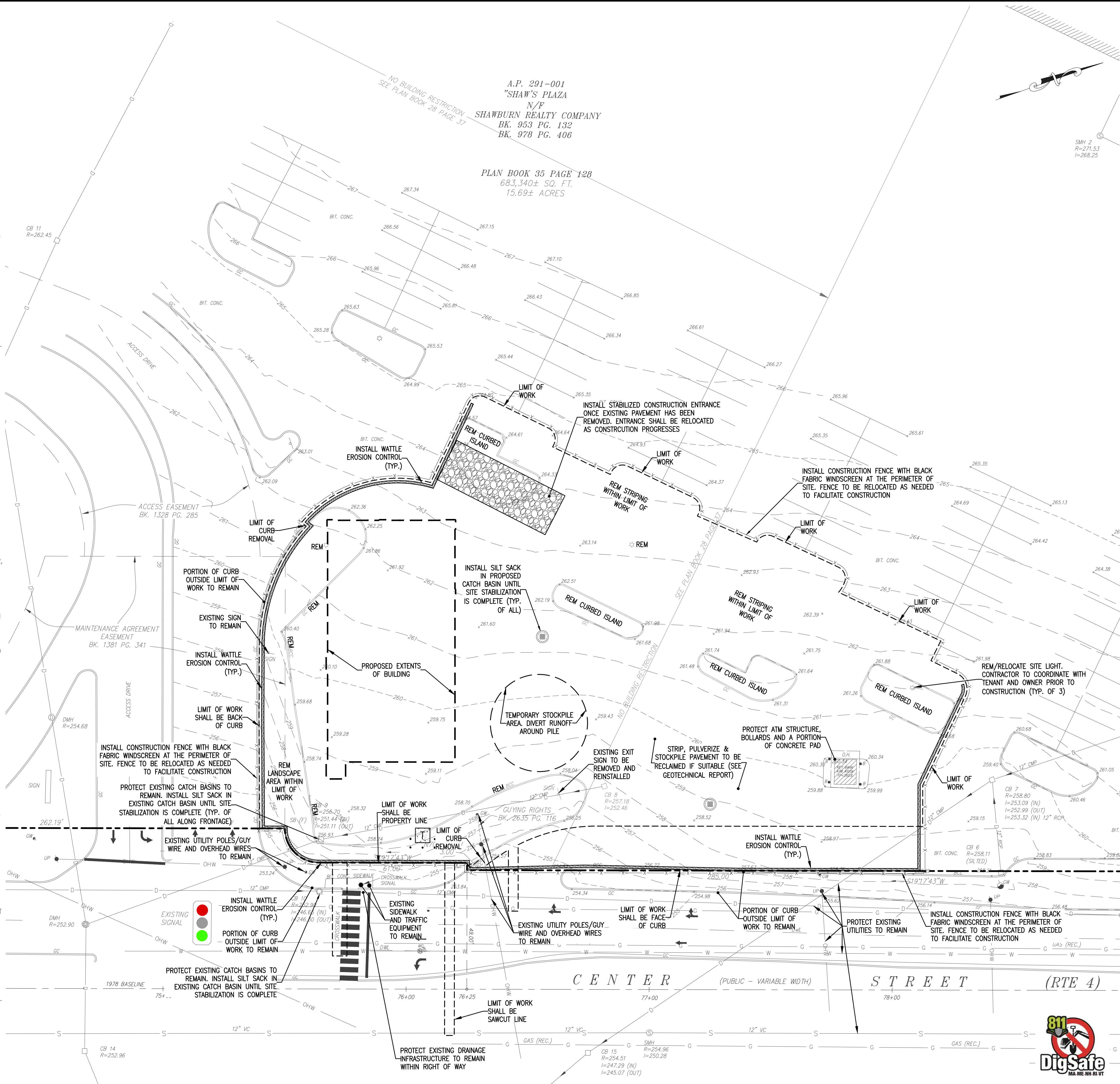
SCALE: 1 INCH=50 FEET

DWG FILE: 1420-01A

CDG PROJECT NO.: 21017

SITE DEMOLITION & EROSION CONTROL NOTES

1. THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY "DIG SAFE" (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXISTING UTILITY MARK OUT LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
2. THIS PROJECT AREA IS CURRENTLY AN EXISTING PARKING LOT SERVING THE EXISTING SHOPPING PLAZA.
3. EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY" PREPARED BY ODOONE SURVEY AND MAPPING, DATED 02/23/2022.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
5. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
6. REFUELING AND ANY WORK ASSOCIATED WITH THE MAINTENANCE OF CONSTRUCTION EQUIPMENT TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE REGULATIONS.
7. THE AREAS OF CONSTRUCTION SHALL REMAIN IN A STABLE CONDITION AT THE CLOSE OF EACH CONSTRUCTION DAY. EROSION CONTROLS SHALL BE CHECKED AT THIS TIME AND MAINTAINED OR REINFORCED IF NECESSARY.
8. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, WATTLE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
9. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE MUNICIPAL DEPARTMENTS INCLUDING THE BUILDING DEPARTMENT AT LEAST 48 HOURS PRIOR TO START OF WORK.
10. THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION. ALL WORK MUST BE INSPECTED BY THE MUNICIPALITY/STATE.
11. ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITION.
12. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL WHEREVER CONSTRUCTION ACCESS EXISTS. PAVED AREAS SHALL BE KEPT CLEAN AT ALL TIMES. TRACKED MUD OR SEDIMENT SHALL BE REMOVED (VACUUM SWEEPING) PRIOR TO THE NEXT STORM EVENT.
13. PEDESTRIAN AND VEHICULAR ACCESS ALONG THE SITE FRONTAGE SHALL BE KEPT IN GOOD CONDITION AND SHALL BE PASSABLE THROUGHOUT CONSTRUCTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTION/DISCONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITHIN THE TRAILER AND CLEARLY VISIBLE.
15. THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
16. EXISTING ONSITE BITUMINOUS PAVEMENT SHALL BE STRIPPED, PULVERIZED AND STOCKPILED ONSITE TO BE USED AS RECLAIMED ASPHALT PAVEMENT BORROW/Common FILL MATERIAL IF DEEMED SUITABLE BY THE GEOTECHNICAL RECOMMENDATIONS. IF EXISTING PAVEMENT IS NOT SUITABLE FOR REUSE, IT SHALL BE REMOVED OFFSITE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
17. CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE AND SHALL BE PROPERLY MAINTAINED AND EMPTIED ON A REGULAR BASIS.
18. CONTRACTOR SHALL NOT STOCKPILE OR LOCATE DUMPSTERS WITHIN WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE.
19. THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL UPKEEP OF THE SITE DURING THE CONSTRUCTION PROCESS.
20. MEANS OF PROTECTING EXISTING MONITORING WELLS, IF APPLICABLE, SHALL BE COORDINATED WITH THE OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO CONSTRUCTION.
21. THIS PROJECT IS INTENDED TO BE A SINGLE PHASE PROJECT WITH AN ESTIMATED OPEN AREA OF LESS THAN 1 ACRE.
22. PERMANENT BEST MANAGEMENT PRACTICES ARE NOT INTENDED TO BE USED AS TEMPORARY SEDIMENT BASINS AND UPSTREAM AREAS SHALL NOT CONNECT TO THE PERMANENT BMP'S UNTIL THE SITE IS STABILIZED. HOWEVER, IF A PERMANENT BMP IS UTILIZED DURING CONSTRUCTION FOR UNFORESEEN SITE CONDITIONS, THE BMP(S) SHALL BE CLEANED AND/OR RESTORED PRIOR TO END OF CONSTRUCTION.
23. THE CONTRACTOR SHALL ADHERE TO PROCEDURES OUTLINED IN THE 2014 REVISION TO THE 2003 MAINE EROSION AND SEDIMENT CONTROL FIELD GUIDE FOR CONTRACTORS.
24. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER THE PLANS AND IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. THESE MEASURES SHALL BE FUNCTIONING AT THE START OF THE CONSTRUCTION PRIOR TO ANY EARTH DISTURBANCE INCLUDING DEMOLITION AND SHALL REMAIN IN PLACE UNTIL UPSTREAM SITE WORK IS COMPLETE AND THE GROUND COVER IS STABILIZED. PERMANENT STABILIZATION IS DEFINED AS 90% SEEDED COVERAGE.
25. CONSTRUCTION DURING THE WINTER SHALL INCLUDE INSPECTIONS AFTER EACH 1" RAINFALL/SNOWFALL EVENT AND NO LESS THAN ONCE PER WEEK.
26. THE CONTRACTOR SHALL PERFORM ALL WORK, AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
27. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
28. PROVIDE AND STORE AUXILIARY DEWATERING EQUIPMENT ON THE SITE IN THE EVENT OF BREAKDOWN. PROVIDE NON-WOVEN FILTER FABRIC SHALL BE SPECIFICALLY DESIGNED FOR SUBSURFACE DRAINAGE APPLICATIONS.
29. WATER FROM THE TRENCHES AND EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID PUBLIC NUISANCE, INJURY TO PUBLIC HEALTH OR THE ENVIRONMENT, OR DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO THE WORK OR IN PROGRESS. DO NOT DISCHARGE WATER INTO ANY SANITARY SEWER SYSTEM. SILTATION BARRIERS SHALL BE UTILIZED IF NECESSARY.
30. WATER FROM TRENCHES AND EXCAVATIONS SHALL NOT BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS TO TAKE PLACE PRIOR TO DISCHARGE TO ANY DRAINAGE SYSTEMS.
31. THE CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM THE FAILURE OF THE DEWATERING OPERATIONS OR FROM FAILURE TO MAINTAIN ALL AREAS OF WORK IN SUITABLE DRY CONDITION.
32. DO NOT EXCAVATE UNTIL THE DEWATERING SYSTEM IS OPERATIONAL AND THE EXCAVATION MAY PROCEED WITHOUT DISTURBANCE TO THE FINAL SUBGRADE.
33. UNLESS OTHERWISE SPECIFIED, CONTINUE DEWATERING UNINTERRUPTED UNTIL THE STRUCTURES, PIPES, AND APPURTENANCES TO BE BUILT HAVE BEEN PROPERLY INSTALLED, WHERE SUBGRADE MATERIALS ARE UNABLE TO MEET SUBGRADE DENSITY REQUIREMENTS DUE TO IMPROPER DEWATERING TECHNIQUES, REMOVE AND REPLACE THE MATERIALS AS DIRECTED BY THE ENGINEER.
34. THE PROPOSED ONSITE DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SILT SACK (SEE DETAIL).
35. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO LOCAL, STATE AND FEDERAL STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
36. ABUTTING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES. WORK ON ABUTTING PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
37. THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED CONTROLS IMPLEMENTED. THE CONTRACTOR SHALL KEEP ADDITIONAL EROSION CONTROL MEASURES SUCH AS WATTLE LINES ON SITE AT ALL TIMES TO RELOCATE OR ADD SUCH MEASURES AS THE PROJECT EVOLVES OR AN UNFORESEEN CONDITION OCCURS.
38. STOCKPILES SHALL BE LOCATED ONSITE OUTSIDE OF ALL WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE FOOT OF THE STOCKPILE AND AND SHALL BE COVERED TO PREVENT WASHOUT.
39. ALL PROPOSED SLOPES 3:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING AND SHALL BE HYDROSEED.
40. ALL PIPELINES OR STRUCTURES NOT STABLE AGAINST UPLIFT DURING CONSTRUCTION OR PRIOR TO COMPLETION SHALL BE THOROUGHLY BRACED OR OTHERWISE PROTECTED.
41. ALL SITE DRAINAGE, WATER, AND SEWER WORK OUTSIDE THE BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.
42. ANY PROPOSED SURFACE OPENINGS AND EXCAVATION WORK WITHIN THE CITY RIGHT-OF-WAY LIMITS WILL REQUIRE A STREET OPENING PERMIT (SOP).
43. A TRENCH OPENING PERMIT (TOP) SHALL BE OBTAINED PRIOR TO THE EXCAVATION OF ANY TRENCH.



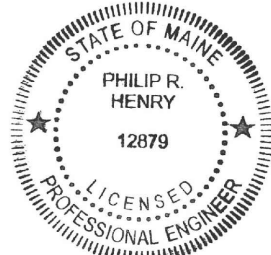
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CDG PROJECT #: 21017

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SEAL:



Philip R. Henry, P.E.

PLANNING BOARD:

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PREPARED FOR:

AUBURN CENTER STREET, LLC

632 WASHINGTON STREET
SOUTH EASTON, MA 02375

PROJECT:

PROPOSED MEDICAL OFFICE DEVELOPMENT

600 CENTER STREET
AUBURN, ME 04210

SCALE:

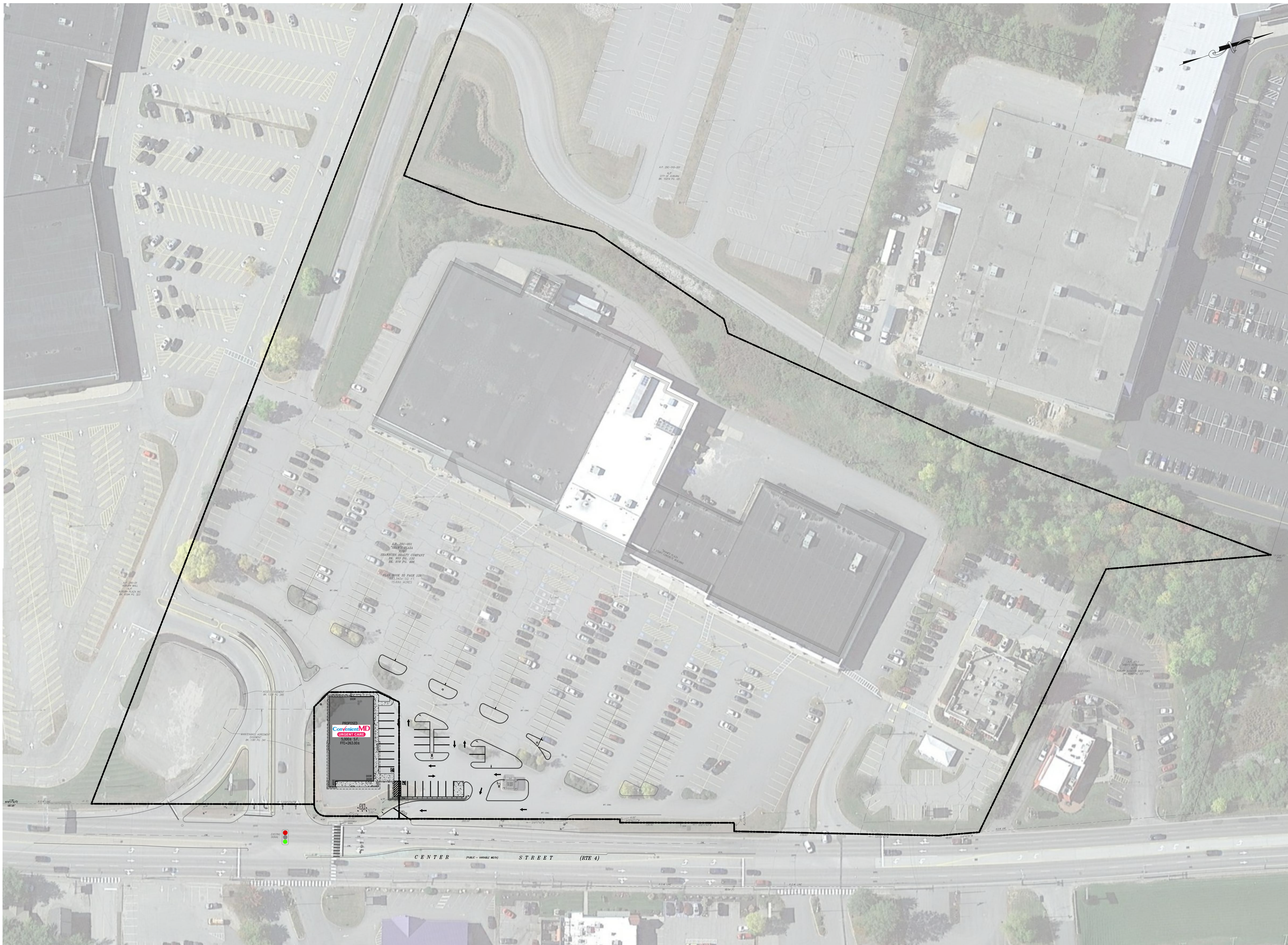


SHEET:

DEMOLITION & EROSION CONTROL PLAN

3

DATE: 06/03/2022



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CDG PROJECT #:21017

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SEAL:

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600 CENTER STREET
AUBURN, ME 04210

SCALE:

500'0"25'0"50'0"100'0"

GRAPHIC SCALE IN FEET

SHEET:

OVERLL SITE PLAN

4

DATE:

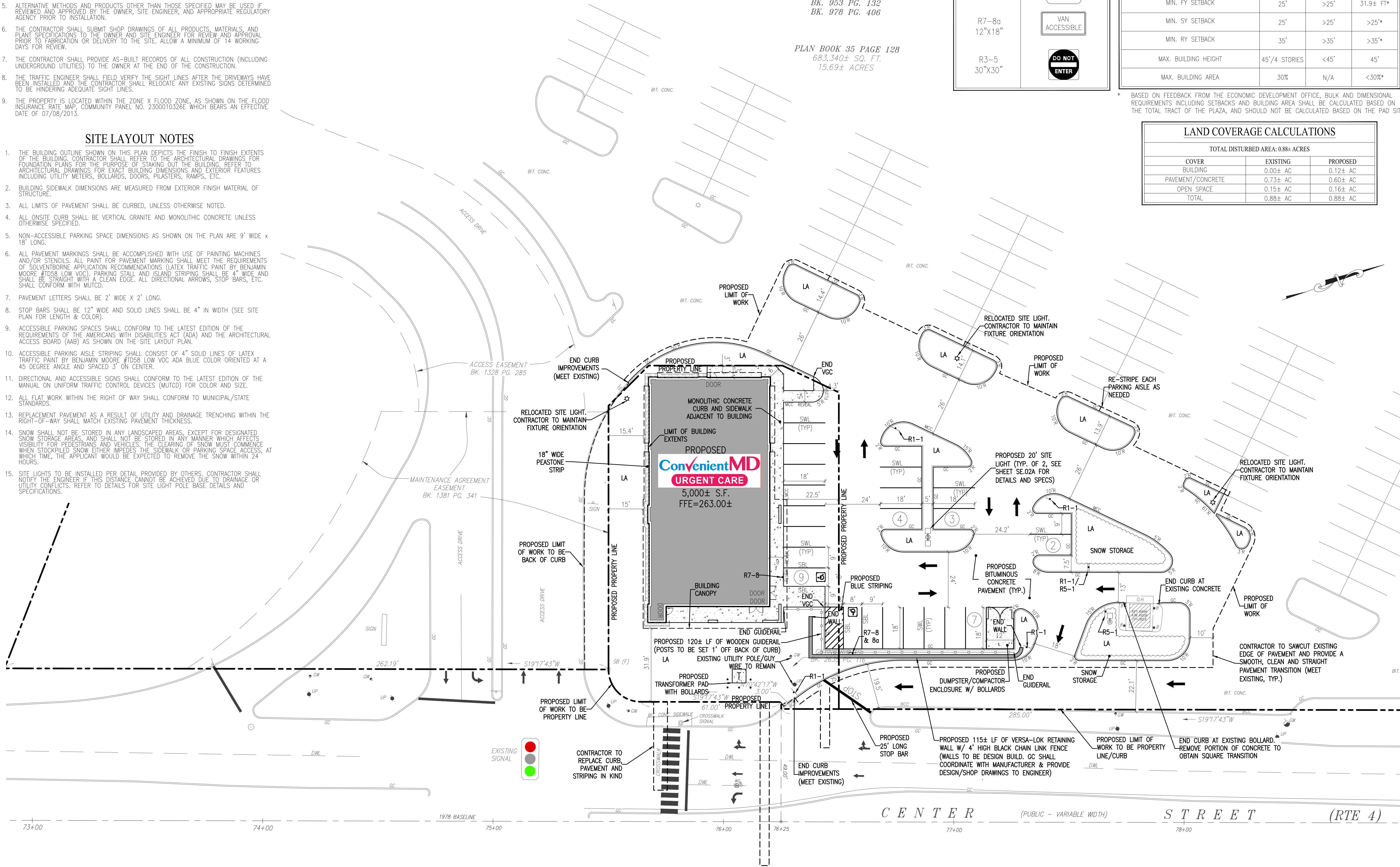
06/03/2022

GENERAL NOTES

1. ZONING INFORMATION OBTAINED FROM THE CITY OF AUBURN ZONING BYLAW AS AMENDED THROUGH 2021.
2. THE PROJECT SITE INCLUDES ASSESSOR LOT 001 AS SHOWN ON MAP 291 AND TOTALS 15.7± ACRES.
3. THE SITE LIES IN THE GENERAL BUSINESS (GB) DISTRICT AND DOES NOT APPEAR TO LIE IN AN OVERLAY ZONE.
4. MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER & MUNICIPALITY.
5. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
8. THE TRAFFIC ENGINEER SHALL FIELD VERIFY THE SIGHT LINES AFTER THE DRIVEWAYS HAVE BEEN INSTALLED AND THE CONTRACTOR SHALL RELOCATE ANY EXISTING SIGNS DETERMINED TO BE HINDERING ADEQUATE SIGHT LINES.
9. THE PROPERTY IS LOCATED WITHIN THE ZONE X FLOOD ZONE, AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 2300010326C WHICH BEARS AN EFFECTIVE DATE OF 07/08/2013.

SITE LAYOUT NOTES

1. THE BUILDING OUTLINE SHOWN ON THIS PLAN DEPICTS THE FINISH TO FINISH EXTENTS OF THE BUILDING. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR FOUNDATION PLANS FOR THE PURPOSE OF STAKING OUT THE BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND EXTERIOR FEATURES INCLUDING UTILITY METERS, BOLLARDS, DOORS, PILASTERS, RAMPS, ETC.
2. BUILDING SIDEWALK DIMENSIONS ARE MEASURED FROM EXTERIOR FINISH MATERIAL OF STRUCTURE.
3. ALL LIMITS OF PAVEMENT SHALL BE CURBED, UNLESS OTHERWISE NOTED.
4. ALL ONSITE CURB SHALL BE VERTICAL GRANITE AND MONOLITHIC CONCRETE UNLESS OTHERWISE SPECIFIED.
5. NON-ACCESSIBLE PARKING SPACE DIMENSIONS AS SHOWN ON THE PLAN ARE 9' WIDE X 18' LONG.
6. ALL PAVEMENT MARKINGS SHALL BE ACCOMPLISHED WITH USE OF PAINTING MACHINES AND/OR STENCILS. ALL PAINT FOR PAVEMENT MARKING SHALL MEET THE REQUIREMENTS OF SOLVENTBORNE APPLICATION RECOMMENDATIONS (LATEX TRAFFIC PAINT BY BENJAMIN MOORE #T058 LOW VOC). PARKING STALL AND ISLAND STRIPING SHALL BE 4" WIDE AND SHALL BE STRAIGHT WITH A CLEAN EDGE. ALL DIRECTIONAL ARROWS, STOP BARS, ETC. SHALL CONFORM WITH MUTCD.
7. PAVEMENT LETTERS SHALL BE 2' WIDE X 2' LONG.
8. STOP BARS SHALL BE 12" WIDE AND SOLID LINES SHALL BE 4" IN WIDTH (SEE SITE PLAN FOR LENGTH & COLOR).
9. ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE LATEST EDITION OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ARCHITECTURAL ACCESS BOARD (AAB) AS SHOWN ON THE SITE LAYOUT PLAN.
10. ACCESSIBLE PARKING AISLE STRIPING SHALL CONSIST OF 4" SOLID LINES OF LATEX TRAFFIC PAINT BY BENJAMIN MOORE #T058 LOW VOC ADA BLUE COLOR ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3' ON CENTER.
11. DIRECTIONAL AND ACCESSIBLE SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE.
12. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
13. REPLACEMENT PAVEMENT AS A RESULT OF UTILITY AND DRAINAGE TRENCHING WITHIN THE RIGHT-OF-WAY SHALL MATCH EXISTING PAVEMENT THICKNESS.
14. SNOW SHALL NOT BE STORED IN ANY LANDSCAPED AREAS, EXCEPT FOR DESIGNATED SNOW STORAGE AREAS. AND SHALL NOT BE STORED IN ANY MANNER WHICH AFFECTS VISIBILITY FOR PEDESTRIANS AND VEHICLES. THE CLEARING OF SNOW MUST COMMENCE WHEN STOCKPILED SNOW EITHER IMPEDES THE SIDEWALK OR PARKING SPACE ACCESS, AT WHICH TIME, THE APPLICANT WOULD BE EXPECTED TO REMOVE THE SNOW WITHIN 24 HOURS.
15. SITE LIGHTS TO BE INSTALLED PER DETAIL PROVIDED BY OTHERS. CONTRACTOR SHALL NOTIFY THE ENGINEER IF THIS DISTANCE CANNOT BE ACHIEVED DUE TO DRAINAGE OR UTILITY CONFLICTS. REFER TO DETAILS FOR SITE LIGHT POLE BASE DETAILS AND SPECIFICATIONS.



A.P. 291-001
"SHAW'S PLAZA"
N/F
SHAWBURN REALTY COMPANY
BK. 953 PG. 132
BK. 978 PG. 406

PLAN BOOK 35 PAGE 128
683,340± SQ. FT.
15.69± ACRES

MUTCD REFERENCE	SIGN (METAL)
R1-1 30"x30"	
R7-8 12"x18"	
R7-8a 12"x18"	
R3-5 30"x30"	

ZONING INFORMATION			
ZONING DISTRICT : GENERAL BUSINESS (GB) DISTRICT			
REGULATION	REQUIRED	EXISTING	PROPOSED LOT
MIN. LOT AREA	10,000 SF	>10,000 SF	14,346±SF
MIN. LOT WIDTH	100 FT	>100 FT	100±FT
MIN. LOT DEPTH	100 FT	>100 FT	145±FT
MIN. FY SETBACK	25'	>25'	31.9± FT*
MIN. SY SETBACK	25'	>25'	>25*
MIN. RY SETBACK	35'	>35'	>35*
MAX. BUILDING HEIGHT	45' / 4 STORIES	<45'	45'
MAX. BUILDING AREA	30%	N/A	<30%*

* BASED ON FEEDBACK FROM THE ECONOMIC DEVELOPMENT OFFICE, BULK AND DIMENSIONAL REQUIREMENTS INCLUDING SETBACKS AND BUILDING AREA SHALL BE CALCULATED BASED ON THE TOTAL TRACT OF THE PLAZA, AND SHOULD NOT BE CALCULATED BASED ON THE PAD SITE.

LAND COVERAGE CALCULATIONS		
TOTAL DISTURBED AREA: 0.88± ACRES		
COVER	EXISTING	PROPOSED
BUILDING	0.00± AC	0.12± AC
PAVEMENT/CONCRETE	0.73± AC	0.60± AC
OPEN SPACE	0.15± AC	0.16± AC
TOTAL	0.88± AC	0.88± AC

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CDG PROJECT #: 21017

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PREPARED FOR:

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632 WASHINGTON STREET
SOUTH EASTON, MA 02375

PROJECT:

PROPOSED MEDICAL OFFICE DEVELOPMENT

600 CENTER STREET
AUBURN, ME 04210

SCALE:

20 0 10 20 40

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SHEET:

SITE PLAN

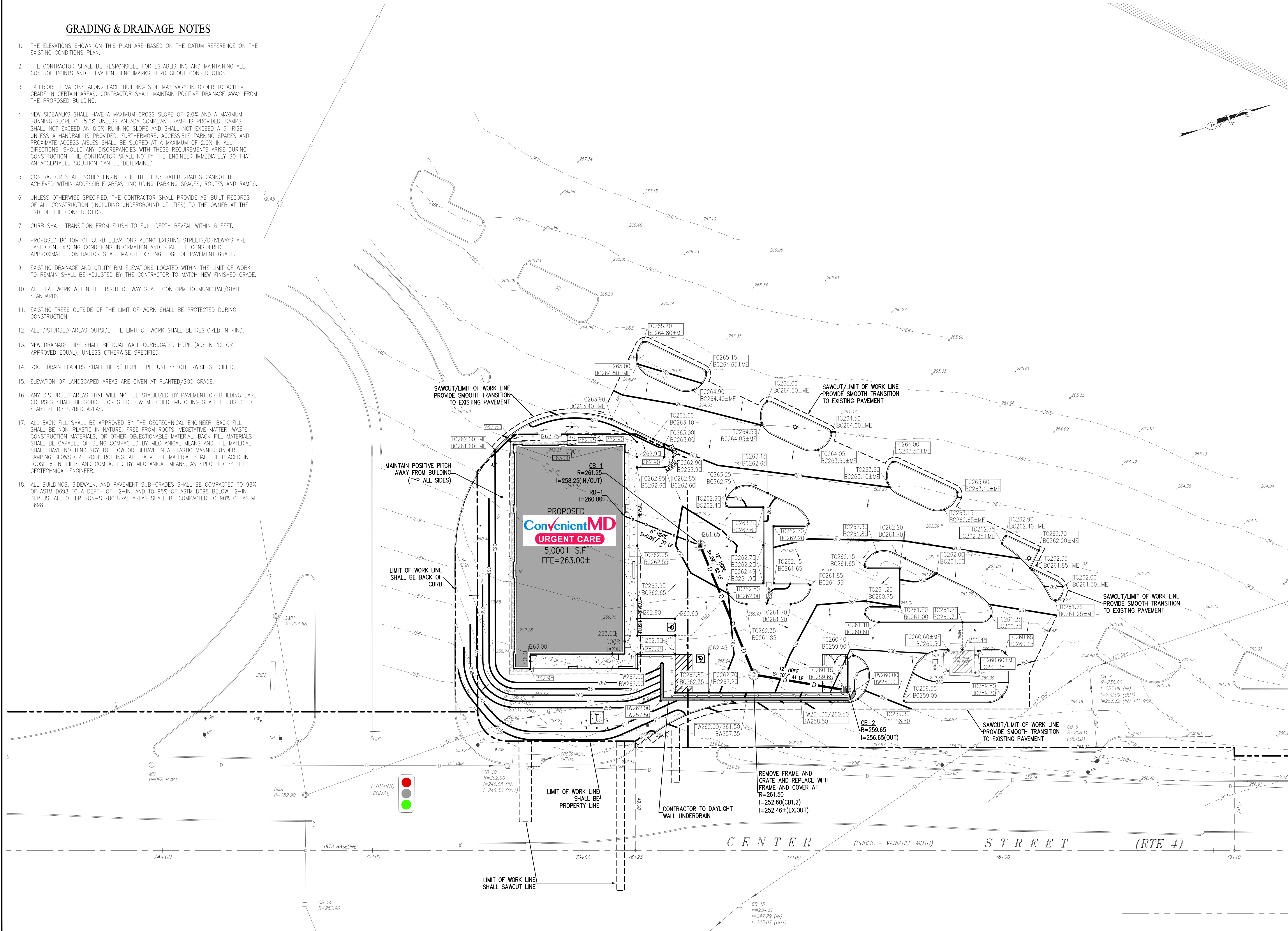
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DATE:

06/03/2022

GRADING & DRAINAGE NOTES

- THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE DATUM REFERENCE ON THE EXISTING CONDITIONS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND ELEVATION BENCHMARKS THROUGHOUT CONSTRUCTION.
- EXTERIOR ELEVATIONS ALONG EACH BUILDING SIDE MAY VARY IN ORDER TO ACHIEVE GRADE IN CERTAIN AREAS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING.
- NEW SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM RUNNING SLOPE OF 5.0% UNLESS AN ADA COMPLIANT RAMP IS PROVIDED. RAMPS SHALL NOT EXCEED AN 8.0% RUNNING SLOPE AND SHALL NOT EXCEED A 6" RISE UNLESS A HANDRAIL IS PROVIDED. FURTHERMORE, ACCESSIBLE PARKING SPACES AND PROXIMATE ACCESS AISLES SHALL BE SLOPED AT A MAXIMUM OF 2.0% IN ALL DIRECTIONS. SHOULD ANY DISCREPANCIES WITH THESE REQUIREMENTS ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- CONTRACTOR SHALL NOTIFY ENGINEER IF THE ILLUSTRATED GRADES CANNOT BE ACHIEVED WITHIN ACCESSIBLE AREAS, INCLUDING PARKING SPACES, ROUTES AND RAMPS.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- CURB SHALL TRANSITION FROM FLUSH TO FULL DEPTH REVEAL WITHIN 6 FEET.
- PROPOSED BOTTOM OF CURB ELEVATIONS ALONG EXISTING STREETS/DRIVEWAYS ARE BASED ON EXISTING CONDITIONS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL MATCH EXISTING EDGE OF PAVEMENT GRADE.
- EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
- EXISTING TREES OUTSIDE OF THE LIMIT OF WORK SHALL BE PROTECTED DURING CONSTRUCTION.
- ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED IN KIND.
- NEW DRAINAGE PIPE SHALL BE DUAL WALL CORRUGATED HDPE (ADS N-12 OR APPROVED EQUAL), UNLESS OTHERWISE SPECIFIED.
- ROOF DRAIN LEADERS SHALL BE 6" HDPE PIPE, UNLESS OTHERWISE SPECIFIED.
- ELEVATION OF LANDSCAPED AREAS ARE GIVEN AT PLANTED/SOD GRADE.
- ANY DISTURBED AREAS THAT WILL NOT BE STABILIZED BY PAVEMENT OR BUILDING BASE COURSES SHALL BE SODDED OR SEEDED & MULCHED. MULCHING SHALL BE USED TO STABILIZE DISTURBED AREAS.
- ALL BACK FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. BACK FILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIALS, OR OTHER OBJECTIONABLE MATERIAL. BACK FILL MATERIALS SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER TAMPING BLOWS OR PROOF ROLLING. ALL BACK FILL MATERIAL SHALL BE PLACED IN LOOSE 6-IN. LIFTS AND COMPACTED BY MECHANICAL MEANS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
- ALL BUILDINGS, SIDEWALK, AND PAVEMENT SUB-GRADES SHALL BE COMPACTED TO 98% OF ASTM D698 TO A DEPTH OF 12-IN. AND TO 95% OF ASTM D698 BELOW 12-IN DEPTHS. ALL OTHER NON-STRUCTURAL AREAS SHALL BE COMPACTED TO 90% OF ASTM D698.



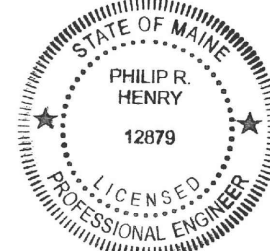
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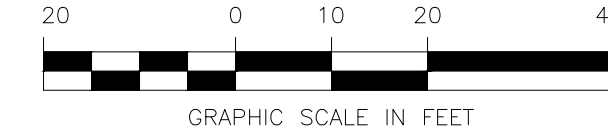
632 WASHINGTON STREET
SOUTH EASTON, MA 02375

PROJECT:

PROPOSED MEDICAL
OFFICE DEVELOPMENT

600 CENTER STREET
AUBURN, ME 04210

SCALE:



SHEET:

GRADING &
DRAINAGE PLAN

6

DATE: 06/03/2022

UTILITY NOTES

1. ALL WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 5'-6" AND A MAXIMUM OF 6" OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
2. ALL WATER SERVICE INSTALLATION METHODS AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL AND STATE REQUIREMENTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE FLUSHING, TESTING AND DISINFECTING OF THE SPRINKLER SERVICE. CONTRACTOR TO COORDINATE SITE WORK AND TIMING TO ALLOW FOR FLUSHING, TESTING AND DISINFECTING TO OCCUR WITHOUT DAMAGING LANDSCAPING, EROSION CONTROL MEASURES OR OTHER SITE FEATURES.
4. WATER, SEWER, ELECTRICAL, TELEPHONE AND GAS MAINS DEPICTED IN THE RIGHT OF WAY ARE BASED ON RECORD DRAWINGS. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONNECTION.
5. PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND COMPACTION FOR THE GAS LINE.
6. DUE TO THE SCALE OF THE SITEWORK DRAWINGS, THE EXACT LOCATION OF UTILITY SERVICES TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.
7. ALL UTILITIES, PIPE MATERIALS, STRUCTURES, AND INSTALLATION METHODS SHALL CONFORM TO MUNICIPALITY STANDARDS AND REQUIREMENTS.
8. SUITABLE, TEMPORARY PLUGS SHALL BE INSTALLED IN THE OPEN ENDS OF UTILITY SERVICES TO THE BUILDING PRIOR TO BACKFILLING. STUB LOCATIONS SHALL BE MARKED IN THE FIELD SO THAT THEY MAY BE EASILY LOCATED.
9. EXISTING WATER & SEWER SERVICES TO BE CUT & CAPPED AT MAIN AND SERVICE LINES SHALL BE ABANDONED IN PLACE, UNLESS OTHERWISE SPECIFIED, IF APPLICABLE.
10. GAS SERVICES TO BE CUT & CAPPED AT PROPERTY LINE AND ABANDONED IN PLACE, UNLESS OTHERWISE SPECIFIED, IF APPLICABLE.
11. WATER & SEWER SERVICE CONNECTIONS SHALL BE INSPECTED BY THE MUNICIPAL WATER & SEWER DEPARTMENT.
12. ALL SITE DRAINAGE, WATER, AND SEWER WORK OUTSIDE THE BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.
13. EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
14. CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING UTILITIES ALONG THE PATH OF THE PROPOSED UTILITY CONNECTIONS AND NOTIFY ENGINEER IMMEDIATELY IF A CONFLICT EXISTS.
15. EXCAVATION, CONDUIT INSTALLATION AND BACKFILLING FOR ELECTRICAL AND TELEPHONE SERVICES TO BE PERFORMED BY SITE CONTRACTOR.

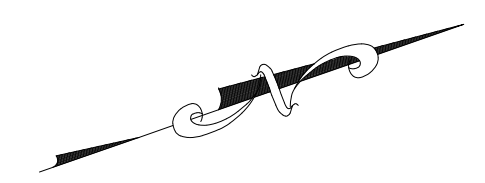
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BK. 953 PG. 132
BK. 978 PG. 406

PLAN BOOK 35 PAGE 128
683,340± SQ. FT.
15.69± ACRES

1. ALL WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 5'-6" AND A MAXIMUM OF 6' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
2. ALL WATER SERVICE INSTALLATION METHODS AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL AND STATE REQUIREMENTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE FLUSHING, TESTING AND DISINFECTING OF THE SPRINKLER SERVICE. CONTRACTOR TO COORDINATE SITE WORK AND TIMING TO ALLOW FOR FLUSHING, TESTING AND DISINFECTING TO OCCUR WITHOUT DAMAGING LANDSCAPING, EROSION CONTROL MEASURES OR OTHER SITE FEATURES.
4. WATER, SEWER, ELECTRICAL, TELEPHONE AND GAS MAINS DEPICTED IN THE RIGHT OF WAY ARE BASED ON RECORD DRAWINGS. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONNECTION.
5. PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND COMPACTION FOR THE GAS LINE.
6. DUE TO THE SCALE OF THE SITEWORK DRAWINGS, THE EXACT LOCATION OF UTILITY SERVICES TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.
7. ALL UTILITIES, PIPE METHODS, STRUCTURES, AND INSTALLATION METHODS SHALL CONFORM TO MUNICIPALITY STANDARDS AND REQUIREMENTS.
8. SUITABLE, TEMPORARY PLUGS SHALL BE INSTALLED IN THE OPEN ENDS OF UTILITY SERVICES TO THE BUILDING PRIOR TO BACKFILLING. STUB LOCATIONS SHALL BE MARKED IN THE FIELD SO THAT THEY MAY BE EASILY LOCATED.
9. EXISTING WATER & SEWER SERVICES TO BE CUT & CAPPED AT MAIN AND SERVICE LINES SHALL BE ABANDONED IN PLACE, UNLESS OTHERWISE SPECIFIED, IF APPLICABLE.
10. GAS SERVICES TO BE CUT & CAPPED AT PROPERTY LINE AND ABANDONED IN PLACE, UNLESS OTHERWISE SPECIFIED, IF APPLICABLE.
11. WATER & SEWER SERVICE CONNECTIONS SHALL BE INSPECTED BY THE MUNICIPAL WATER & SEWER DEPARTMENT.
12. ALL SITE DRAINAGE, WATER, AND SEWER WORK OUTSIDE THE BUILDING FOOTPRINT SHALL BE PERFORMED BY A LICENSED DRAIN LAYER.
13. EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
14. CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING UTILITIES ALONG THE PATH OF THE PROPOSED UTILITY CONNECTIONS AND NOTIFY ENGINEER IMMEDIATELY IF A CONFLICT EXISTS.
15. EXCAVATION, CONDUIT INSTALLATION AND BACKFILLING FOR ELECTRICAL AND TELEPHONE SERVICES TO BE PERFORMED BY SITE CONTRACTOR.

A.P. 291-001
"SHAW'S PLAZA
N/F
SHAWBURN REALTY COMPANY
BK. 953 PG. 132
BK. 978 PG. 406

PLAN BOOK 35 PAGE 128
683,340± SQ. FT.
15.69± ACRES



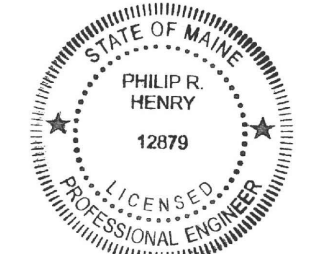
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CDG PROJECT #:	21017
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REVISIONS:

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SEAL:



RSKJ

PHILIP R. HENRY, P.E.

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PREPARED FOR:

**AUBURN CENTER
STREET, LLC**

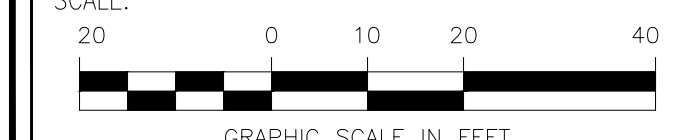
632 WASHINGTON STREET
SOUTH EASTON, MA 02375

PROJECT:

PROPOSED MEDICAL OFFICE DEVELOPMENT

600 CENTER STREET
AUBURN, ME 04210

SCALE:

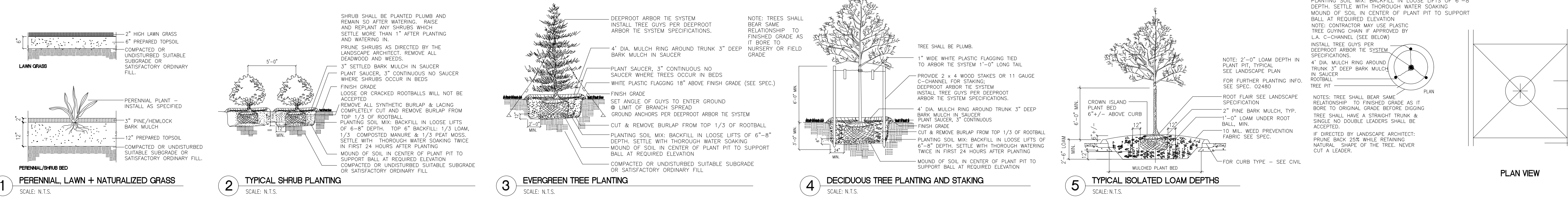


SHEET:

SHEET: **UTILITY
PLAN**

7

DATE: 06/03/2022



GENERAL NOTES

- CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING TO EXAMINE EXISTING CONDITIONS FOR THEMSELVES. CONTRACTOR TO FAMILIARIZE THEMSELVES WITH DESIGN DOCUMENTS, NOTES & DETAILS AND THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, CURRENT EDITION.
- CONTRACTOR SHALL NOTIFY/COORDINATE WITH THE MUNICIPALITY PRIOR TO PLANT MATERIAL INSTALLATION.
- PRIOR TO THE PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL CONTACT DIG SAFE @ 1-888-344-7233 TO HAVE THE EXISTING UTILITIES MARKED.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS. SEE SPECIFICATION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1-CURRENT EDITION.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN. NO PLASTIC BURLAP.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- HEAL ALL CONSTRUCTION SCARS WITH NATURALIZED GRASS, LAWN OR MULCH AS INDICATED ON PLAN.
- "DRY ROOTS" SHALL BE ADDED TO ALL NEW TREE PLANTING PITS. ALL NEW LOAM SHALL BE TESTED AND AMENDED AS STATED IN THE LOAM REPORT PROVIDED BY LOAM SUPPLIER.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A WATERING SCHEDULE PROGRAM FOR THE 60 DAY MAINTENANCE PERIOD TO OWNER FOR ALL PROPOSED PLANT MATERIAL.
- PROTECT EXISTING PLANT MATERIAL WITHIN CONSTRUCTION LIMITS. PROVIDE WATERING PROGRAM FOR ALL PROPOSED PLANT MATERIAL DURING CONSTRUCTION.

IRRIGATION NOTES

- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. SHOP DRAWINGS SHALL BE PROVIDED AT A SUITABLE SCALE TO ILLUSTRATE THAT THE DESIGNATED PLANT MATERIALS WILL BE IRRIGATED BY EITHER SPRAY HEADS, MIST HEADS OR DRIP IRRIGATION TUBING.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER-SPRAY ONTO THE PAVEMENT.
- ALL TREES, SHRUBS AND GROUND COVER SHALL BE DRIP IRRIGATED/IRRIGATED WITH SHRUB MIST HEADS. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- THE IRRIGATION LAYOUT AND ALL OF THE COMPONENTS SHALL CONFORM TO THE SPECIFICATIONS. THE SPECIFICATIONS CALL FOR SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL, AS WELL AS CONFORMANCE TO THE MATERIALS SPECIFIED.
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- SLEEVING UNDER PAVEMENTS MUST BE AVAILABLE AND IN THE PROPER LOCATION PRIOR TO PAVING.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- THE IRRIGATION ALTERNATE SHALL INCLUDE THE COST OF CONNECTING TO THE BUILDING WATER SERVICE DOWN STREAM OF THE BACK FLOW PREVENTER OF THE IRRIGATION WELL.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE, GRANITE, PAVEMENT & CURBS.

PLANT MATERIAL LIST				
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
SHADE TREES				
AA	12	ACER X FREEMANI ARMSTRONG	ARMSTRONG MAPLE	2.5"-3" CAL.
DECIDUOUS SHRUBS				
RAGL	41	RHUS AROMATICA "ORO-LO"	GRO-LOW SUMAC	3 GAL
TMD	25	TAXUS MEDIA X DENSIFORMIS	DENSIFORMIS YEW	2 1/2-3"
PERENNIALS AND GRASSES				
PH	41	PENNISETUM A. "HAMELIN"	FOUNTAIN GRASS	2 GAL
HH	41	HEMEROCALLIS "HAPPY RETURNS"	HAPPY RETURNS DAYLILLIES	2 GAL

LEGEND

PROTECT EXISTING TREES TO REMAIN, TYP.

EVERGREEN TREES (DRIP OR MIST HEAD IRRIGATION)

DECIDUOUS SHADE TREES (DRIP OR MIST HEAD IRRIGATION)

ORNAMENTAL & FLOWERING TREES (DRIP OR MIST HEAD IRRIGATION)

EVERGREEN SHRUBS (DRIP OR MIST HEAD IRRIGATION)

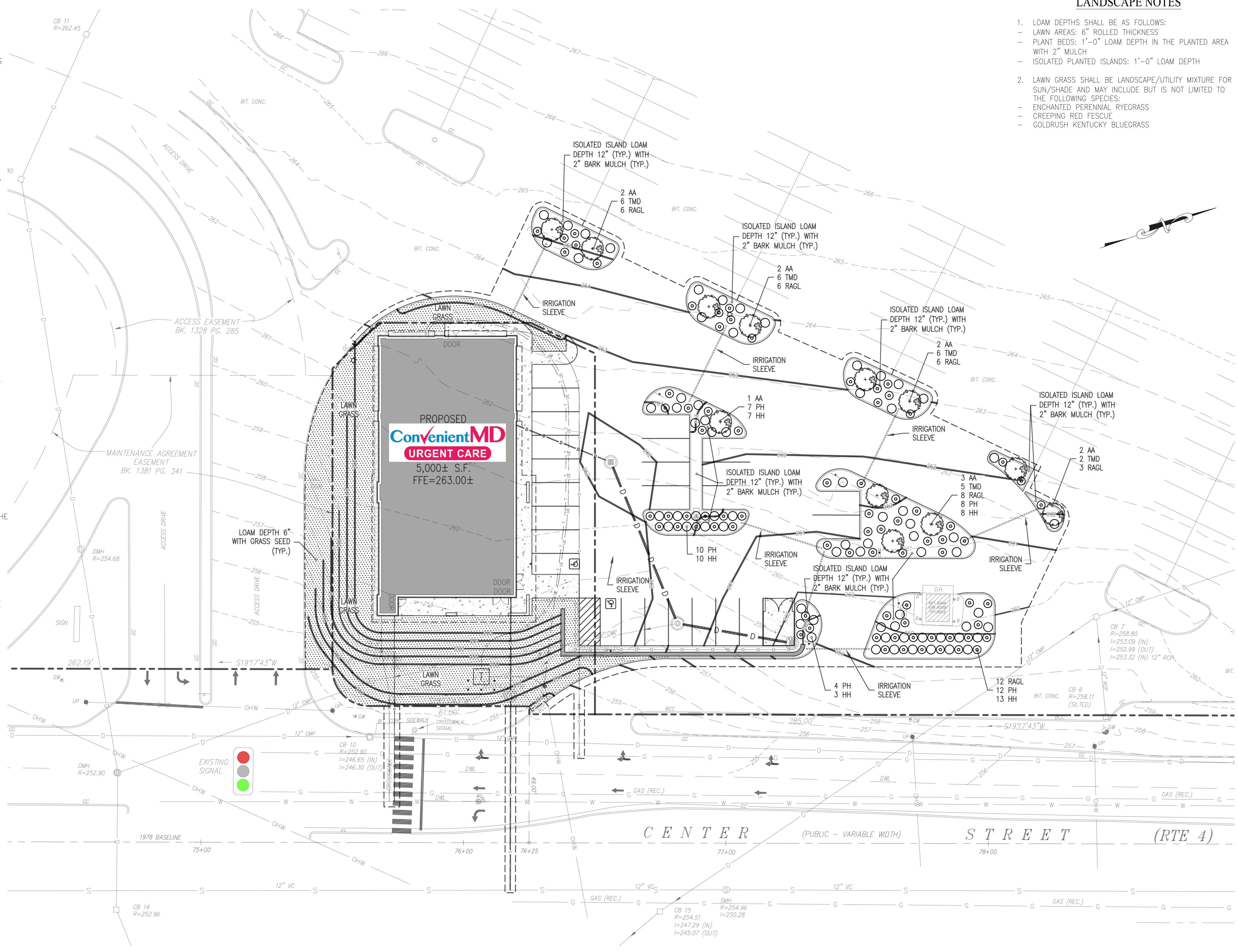
DECIDUOUS SHRUBS (DRIP OR MIST HEAD IRRIGATION)

PERENNIALS (DRIP OR MIST HEAD IRRIGATION)

SEEDED LAWN (SPRAY-HEAD IRRIGATION)

MA. STATE NATURALIZED HYDRO-SEEDED SLOPE MIX (NO IRRIGATION)

IRRIGATION SLEEVES



LANDSCAPE NOTES

- LOAM DEPTHS SHALL BE AS FOLLOWS:
 - LAWN AREAS: 6" ROLLED THICKNESS
 - PLANT BEDS: 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH
 - ISOLATED PLANTED ISLANDS: 1'-0" LOAM DEPTH
- LAWN GRASS SHALL BE LANDSCAPE/UTILITY MIXTURE FOR SUN/SHADE AND MAY INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING SPECIES:
 - ENCHANTED PERENNIAL RYEGRASS
 - CREeping RED FESCUE
 - GOLDRUSH KENTUCKY BLUEGRASS

NOT FOR CONSTRUCTION

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SOUTH EASTON, MA 02375

PROJECT:

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600 CENTER STREET
AUBURN, ME 04210

SCALE:

0 10 20 40

GRAPHIC SCALE IN FEET

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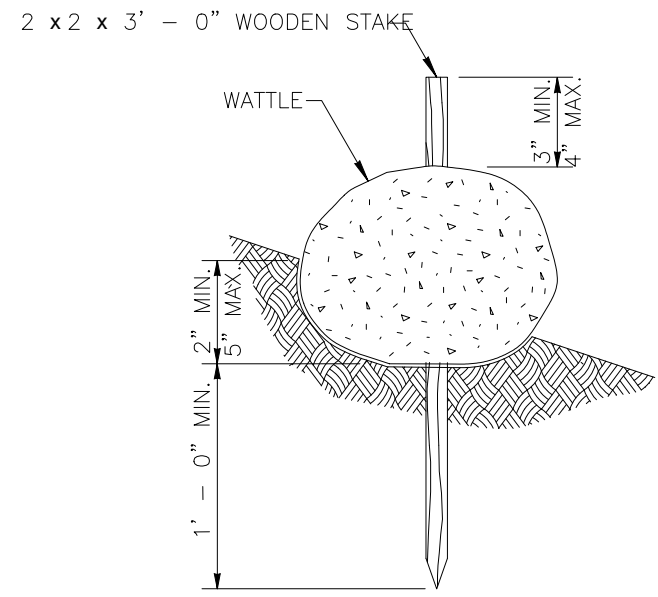
LANDSCAPE PLAN

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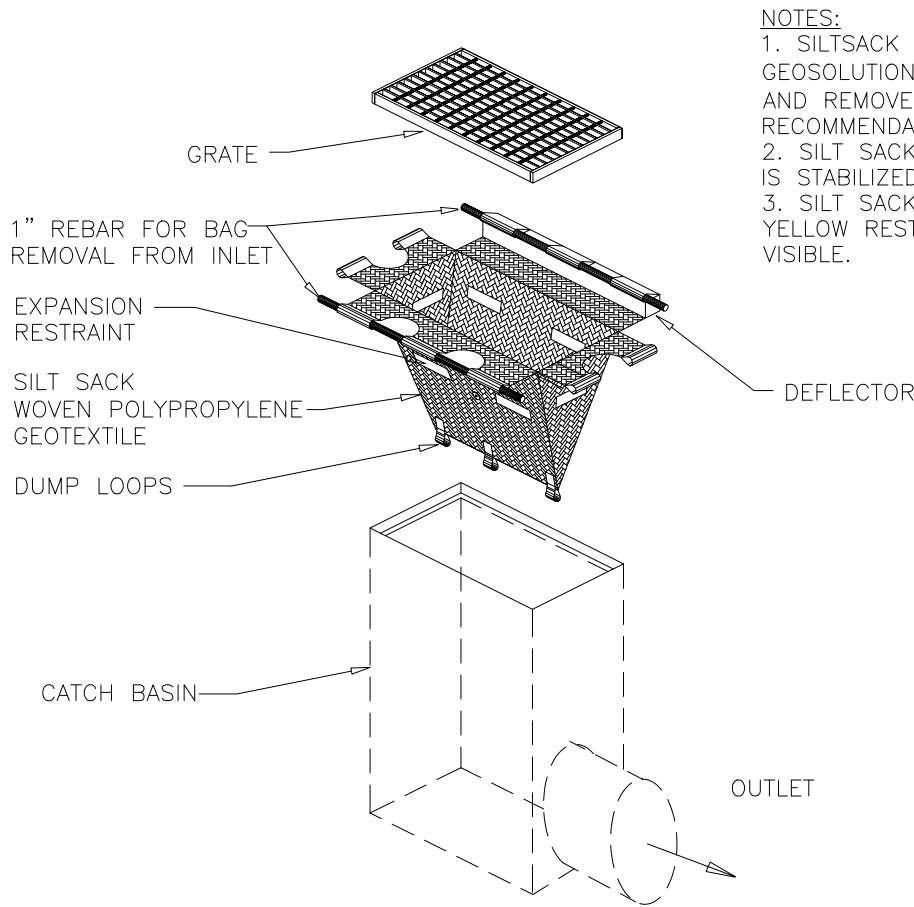
06/03/2022

- NOTES:
1. WATTLES SHALL BE A MACHINE PRODUCED CONSISTING OF MULCH.
 2. THE NETTING SHALL CONSIST OF SEAMLESS HIGH DENSITY POLYETHYLENE AND ETHYL VINYL ACETATE AND CONTAIN ULTRA VIOLET INHIBITORS.
 3. SECURELY KNOT EACH END OF WATTLE.
 4. ABUT ADJACENT WATTLES TIGHTLY WITHOUT OVERLAPPING ENDS.
 5. WOODEN STAKES SHALL BE USED FOR STABILIZED INSTALLATION.
 6. WATTLES SHALL BE INSPECTED REGULARLY AND IMMEDIATELY AFTER RAINFALL EVENTS.
 7. WATTLES SHALL BE PLACED ON THE DOWNSTREAM SIDE OF THE SILT FENCE, IF APPLICABLE.



TYPICAL WATTLE DETAIL

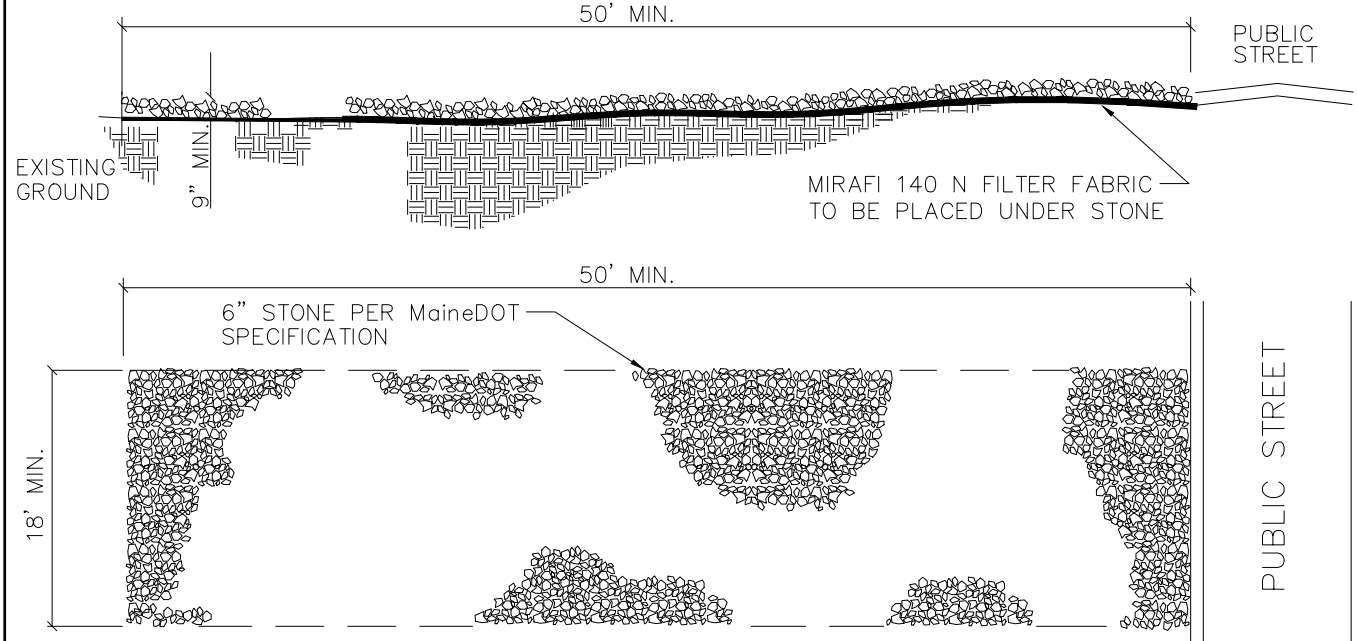
NOT TO SCALE



- NOTES:
1. SILT SACK MANUFACTURED BY S1 GEOSOLUTION (800-621-0444); INSTALL AND REMOVE PER MANUFACTURER'S RECOMMENDATIONS.
 2. SILT SACK TO BE REMOVED WHEN SITE IS STABILIZED.
 3. SILT SACK SHALL BE EMPTIED WHEN YELLOW RESTRAINT CORD IS NO LONGER VISIBLE.

TYPICAL SILT SACK DETAIL

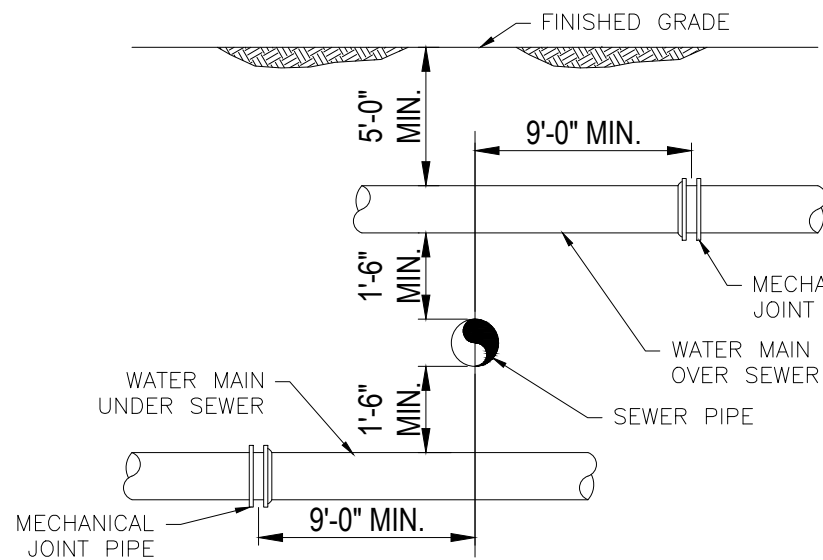
NOT TO SCALE



- NOTES:
1. A STABILIZED CONSTRUCTION ENTRANCE COMPRISED OF 6" CRUSHED STONE SHALL BE LOCATED WHERE CONSTRUCTION RELATED VEHICLES WILL ACCESS THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR ADJACENT LAND. ADDITIONAL STONE SHALL BE ADDED AS CONDITIONS WARRANT.
 3. ANY SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED IMMEDIATELY.
 4. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET, IF APPLICABLE. WHEEL WASHING SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS TO A DESIGNATED SEDIMENT TRAP.

TYPICAL STABILIZED CONSTRUCTION ENTRANCE DETAIL

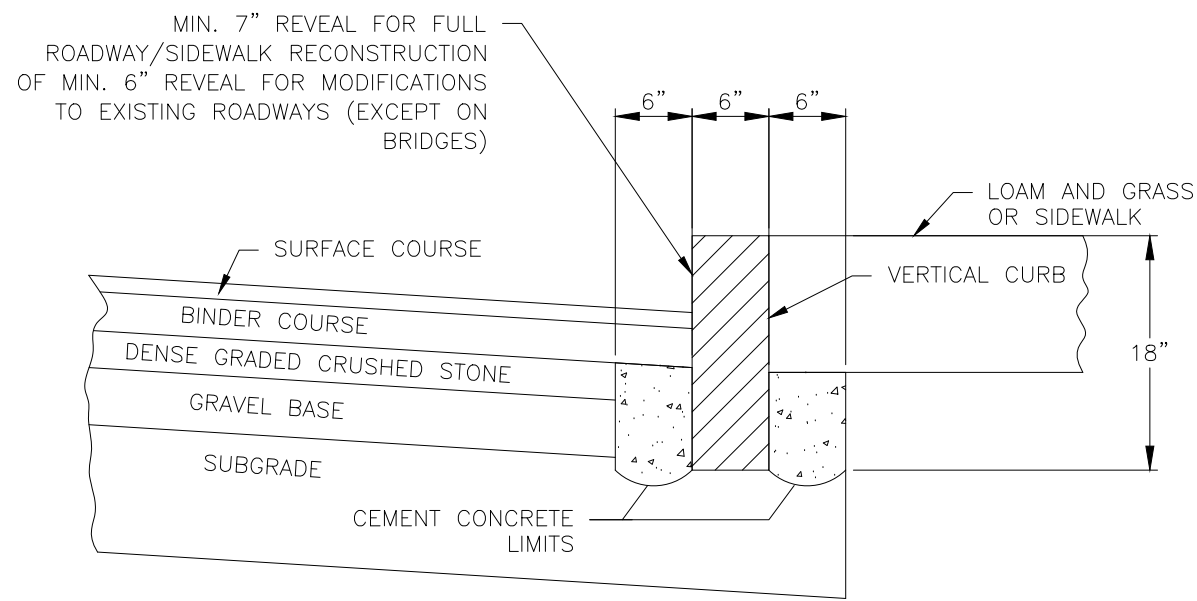
NOT TO SCALE



- NOTES:
1. SEWERS SHALL BE KEPT REMOTE FROM WATER SUPPLY PIPING AND STRUCTURES. WHEREVER FEASIBLE, SEWERS SHOULD BE LAID AT A MINIMUM HORIZONTAL DISTANCE OF 10 FEET FROM WATER MAINS. IF LOCAL CONDITIONS PREVENT THIS, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH, AND THE ELEVATIONS OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
 2. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE CROWN OF THE SEWER SHOULD BE PLACED A MINIMUM OF 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IN ADDITION, THE WATER MAIN MUST BE CONSTRUCTED WITH ONE FULL LENGTH OF PIPE CENTERED ABOVE THE CROSSING. THE WATER PIPE SHALL HAVE MECHANICAL JOINTS FOR A MINIMUM DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING.
 3. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER AND THE SEWER PIPING SHALL BE CONSTRUCTED SUCH THAT THE PIPE JOINTS ARE PLACED AS FAR AWAY FROM THE CROSSING AS POSSIBLE AND THE PIPE CROSSING SHALL BE SLEEVED A DISTANCE OF 10 FEET ON ALL SIDES OF THE CROSSING.

WATER/SEWER CROSSING DETAIL

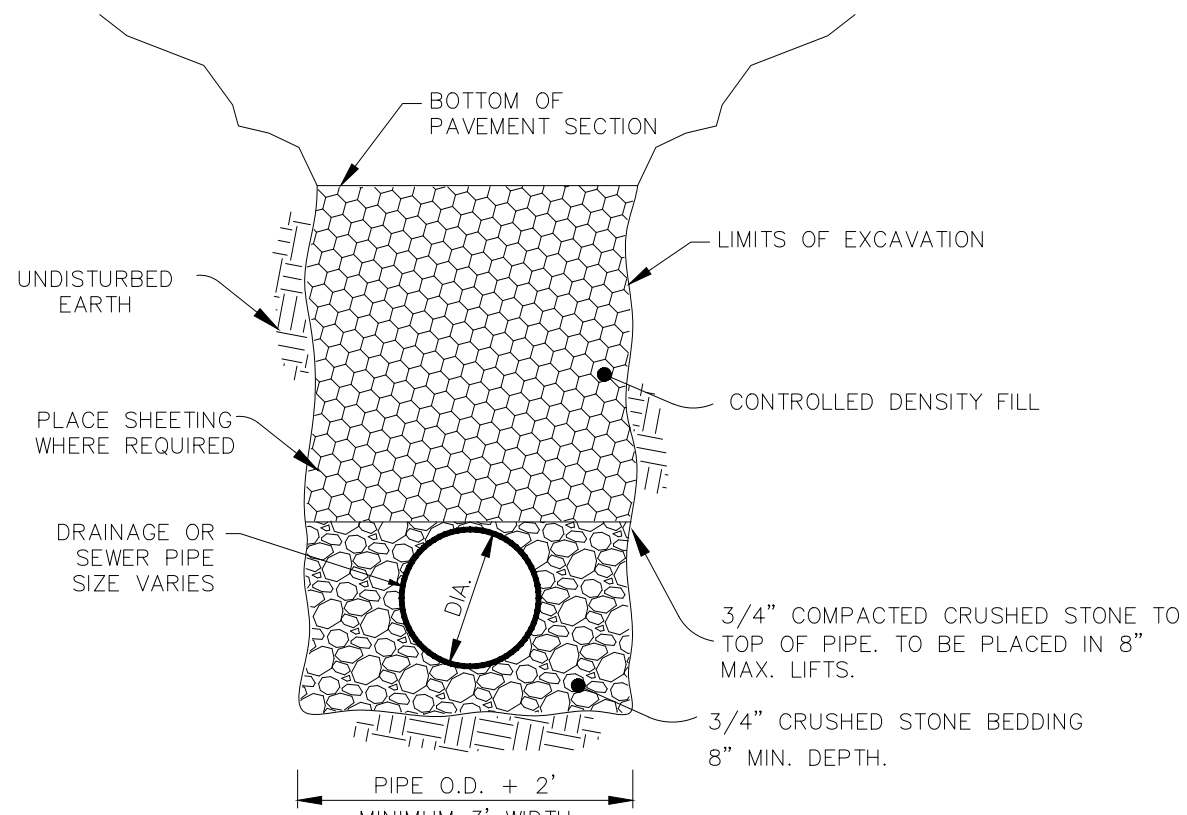
NOT TO SCALE



- NOTES:
1. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BASE AND SUBGRADE, REPLACE WITH CEMENT CONCRETE. COVER WITH BINDER AND TOP COURSE TO CURB.
 2. ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE UNDER SECTION M4 OF THE STANDARD MHD SPECIFICATIONS MAY BE USED; ALL TEST REQUIREMENTS ARE WAIVED. BITUMINOUS CONCRETE SHALL NOT BE USED AS A SUBSTITUTE.

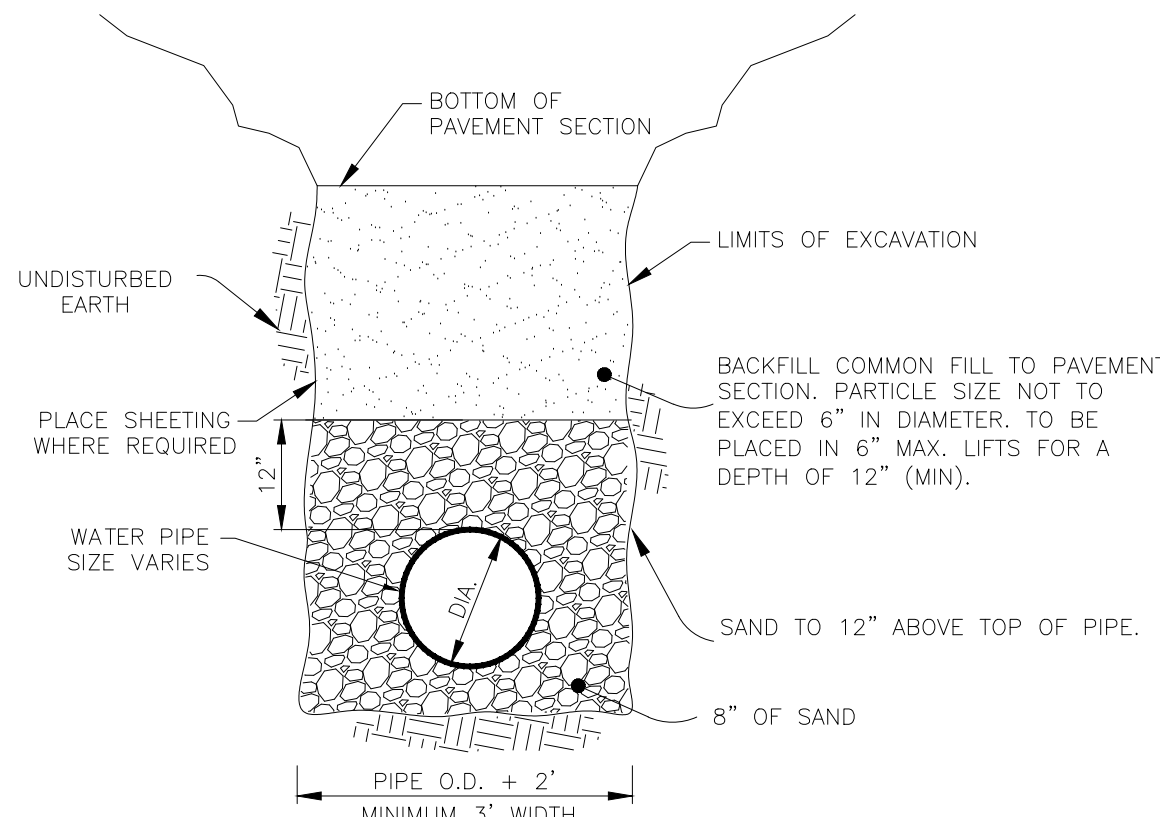
TYPICAL VERTICAL GRANITE CURB DETAIL

NOT TO SCALE



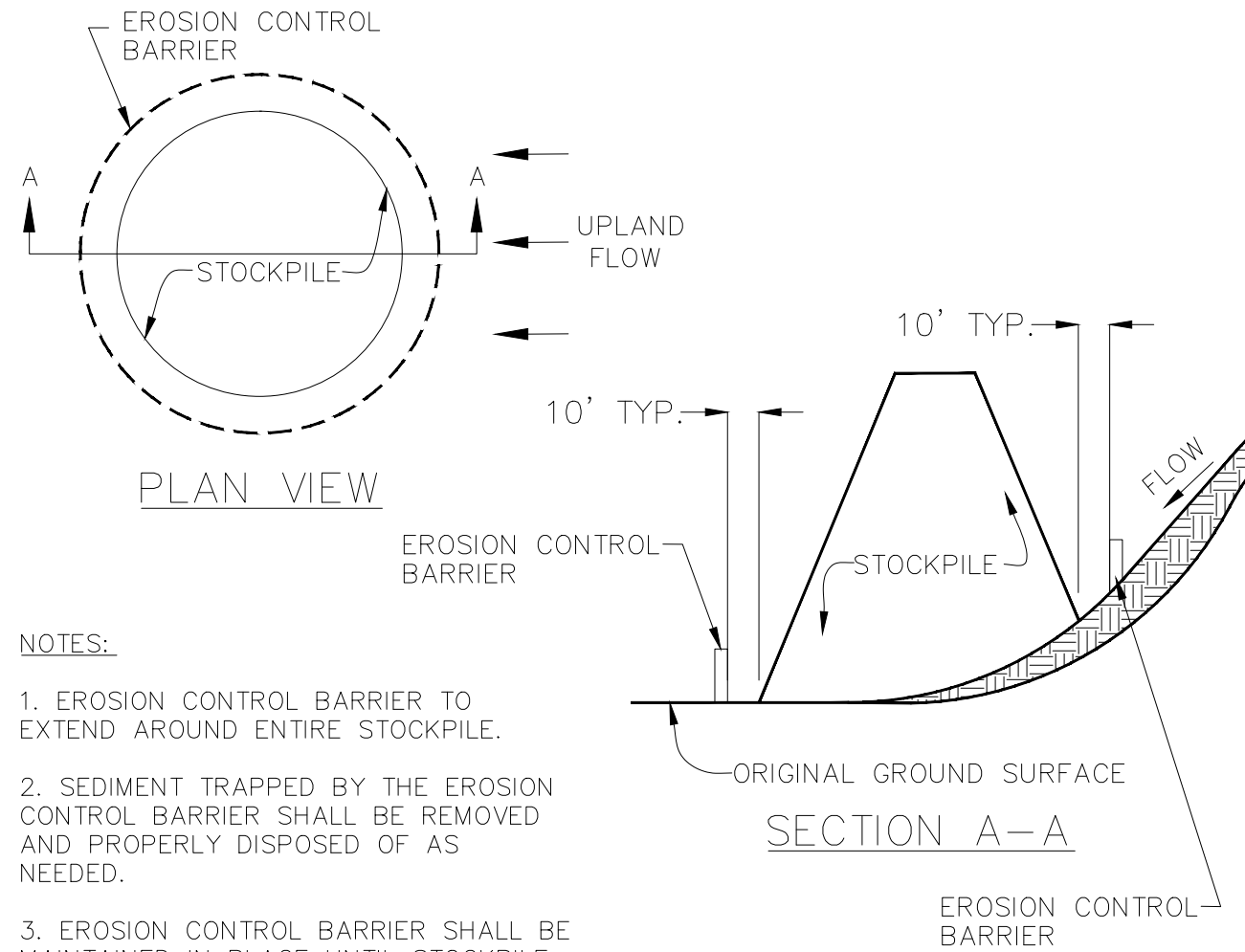
TYPICAL DRAIN & SEWER TRENCH DETAIL

NOT TO SCALE



TYPICAL WATER TRENCH DETAIL

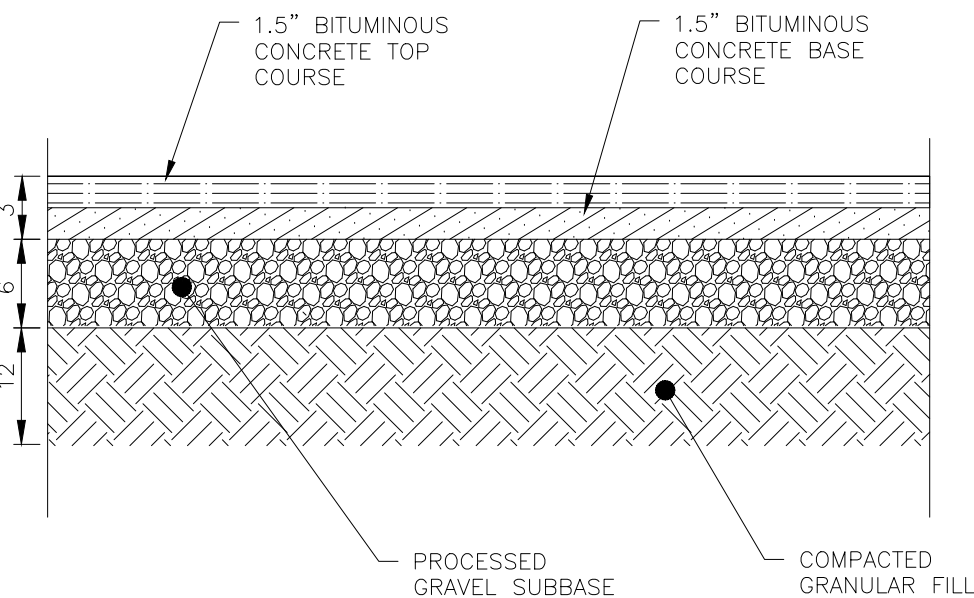
NOT TO SCALE



- NOTES:
1. EROSION CONTROL BARRIER TO EXTEND AROUND ENTIRE STOCKPILE.
 2. SEDIMENT TRAPPED BY THE EROSION CONTROL BARRIER SHALL BE REMOVED AND PROPERLY DISPOSED OF AS NEEDED.
 3. EROSION CONTROL BARRIER SHALL BE MAINTAINED IN PLACE UNTIL STOCKPILE HAS BEEN ELIMINATED.

TYPICAL TEMPORARY STOCKPILE DETAIL

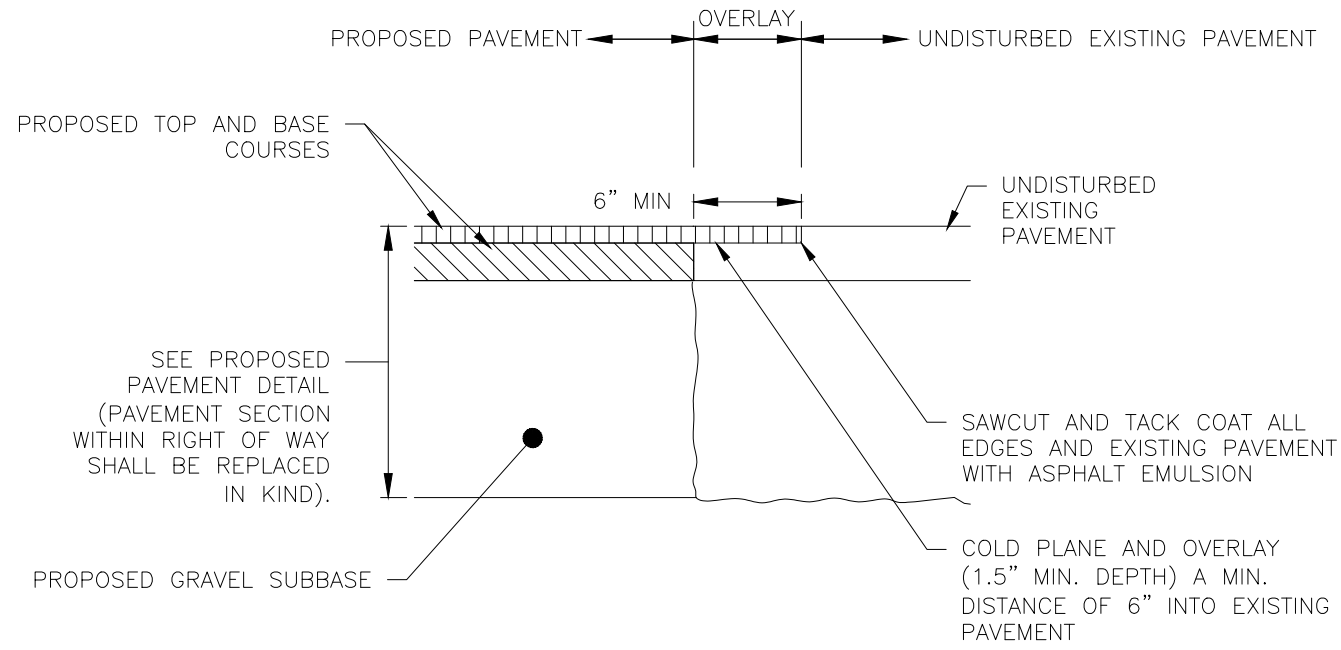
NOT TO SCALE



- NOTES:
1. THIS DETAIL PROVIDES A MINIMUM STANDARD FOR PAVEMENT CONSTRUCTION BASED ON THE AASHTO GUIDE FOR DESIGN OF PAVEMENT STRUCTURES (1993). THE FINAL PAVEMENT SECTION SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER AND SHALL BE UTILIZED IF MORE STRINGENT THAN THIS DETAIL.
 2. MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MaineDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

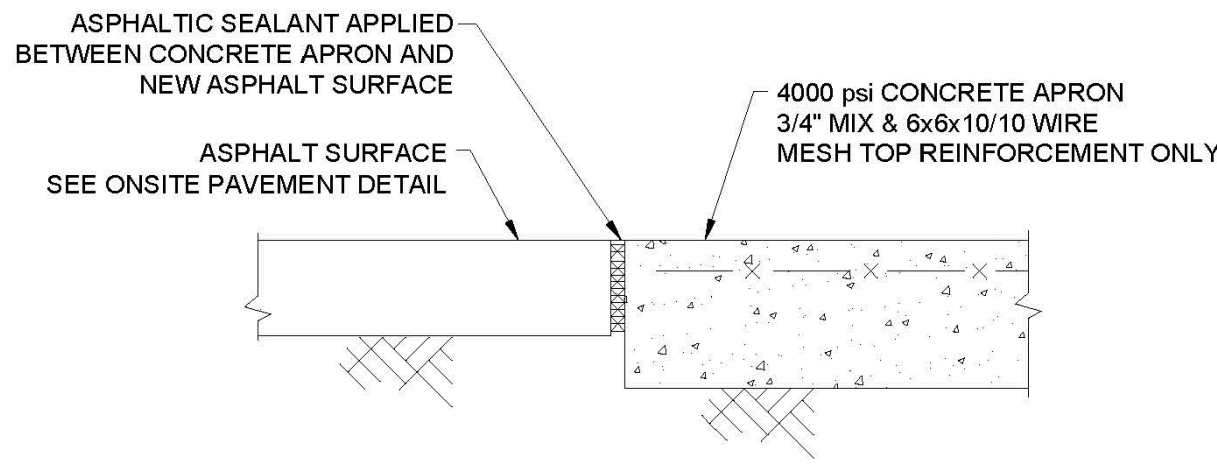
TYPICAL BITUMINOUS PAVEMENT DETAIL

NOT TO SCALE



PAVEMENT TIE-IN DETAIL

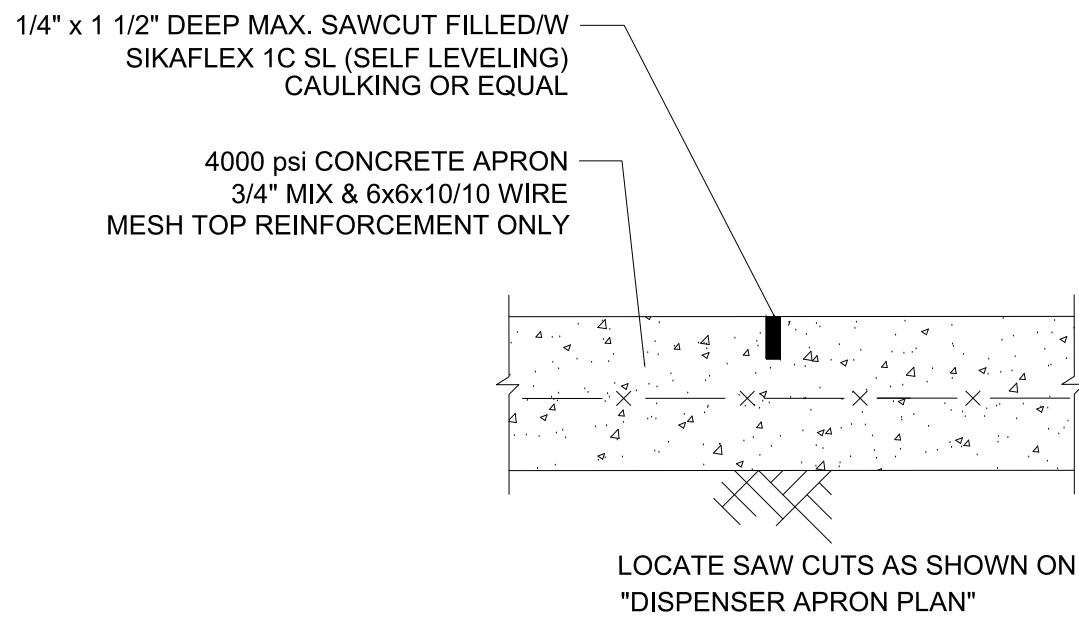
NOT TO SCALE



- NOTE:
- 6" CONC. APRON @ CANOPY
 - 8" CONC. APRON @ TANK

TYPICAL ASPHALT /CONCRETE TRANSITION DETAIL

NOT TO SCALE



- NOTE:
- 6" CONC. APRON @ CANOPY
 - 8" CONC. APRON @ TANK

CONCRETE SPECIFICATIONS:

- SOIL BEARING CAPACITY REQD: AS PER GEOTECHNICAL REPORT
- CONC. STRENGTH: 4000psi @ 28 DAYS 3% TO 7% AIR, TROWELLED SMOOTH FINISH WITH TWO COATS SEALING/CURING COMPOUND.

TYPICAL SAWCUT DETAIL

NOT TO SCALE

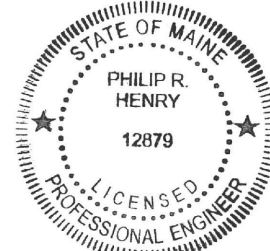
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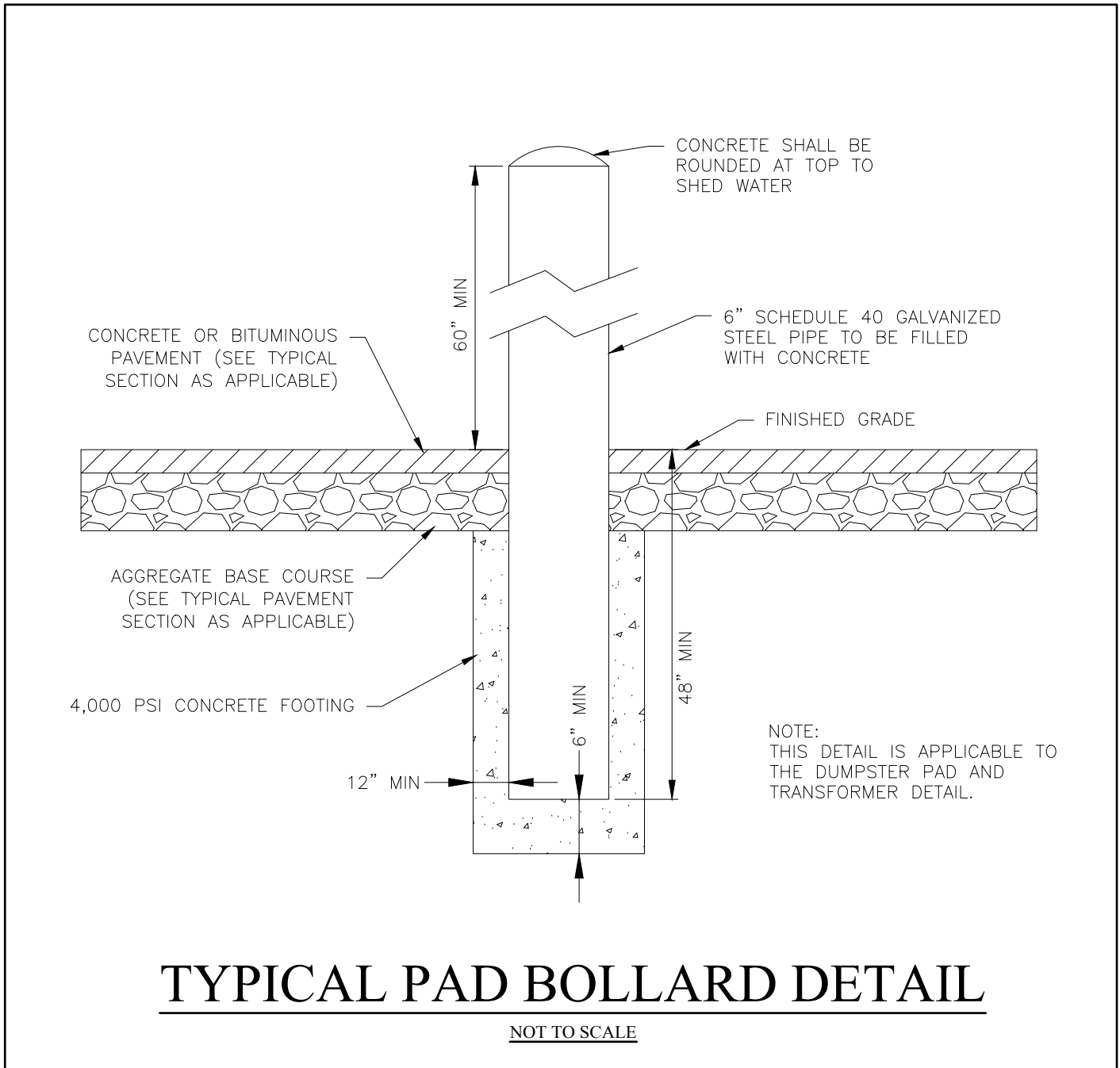
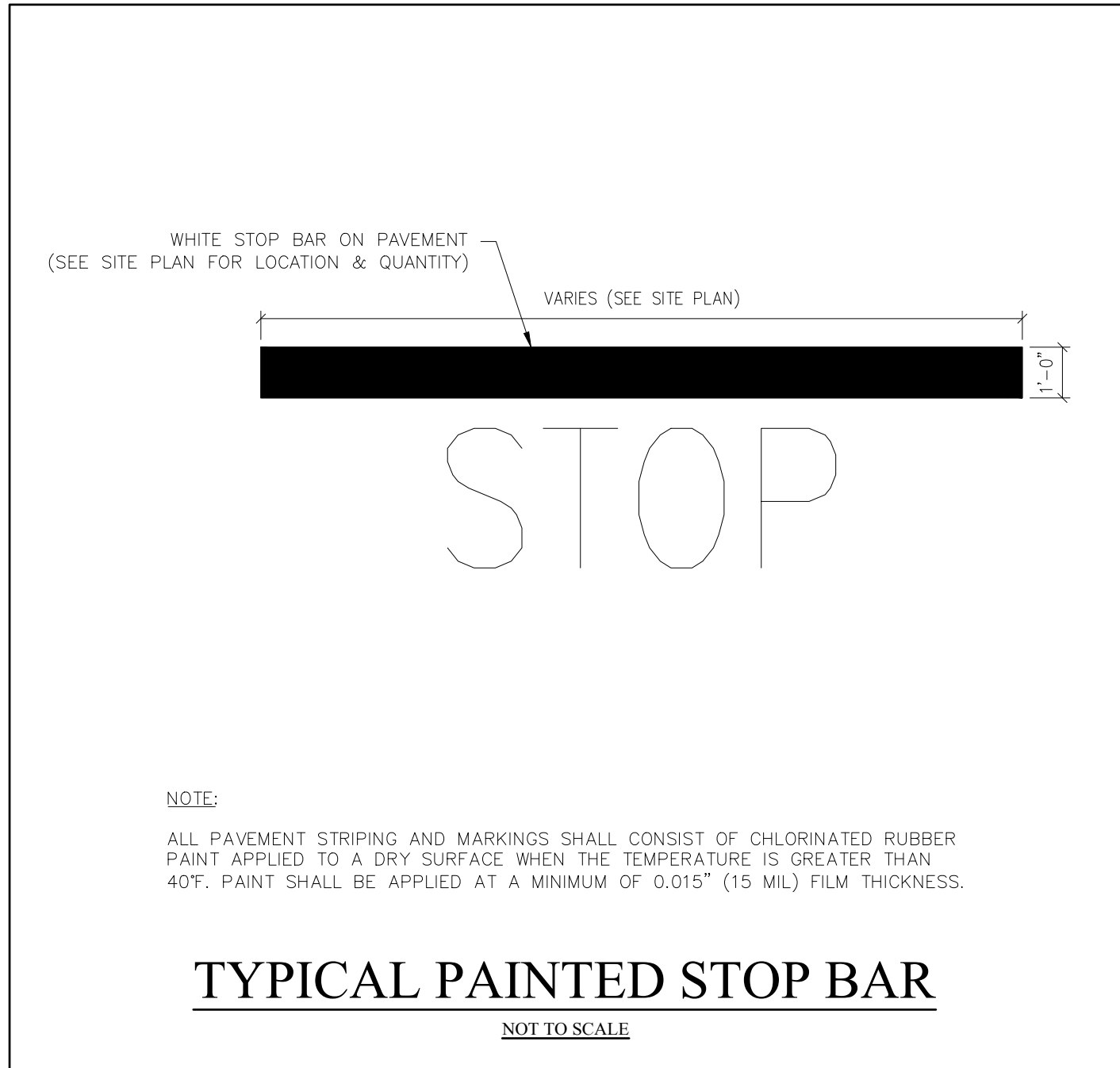
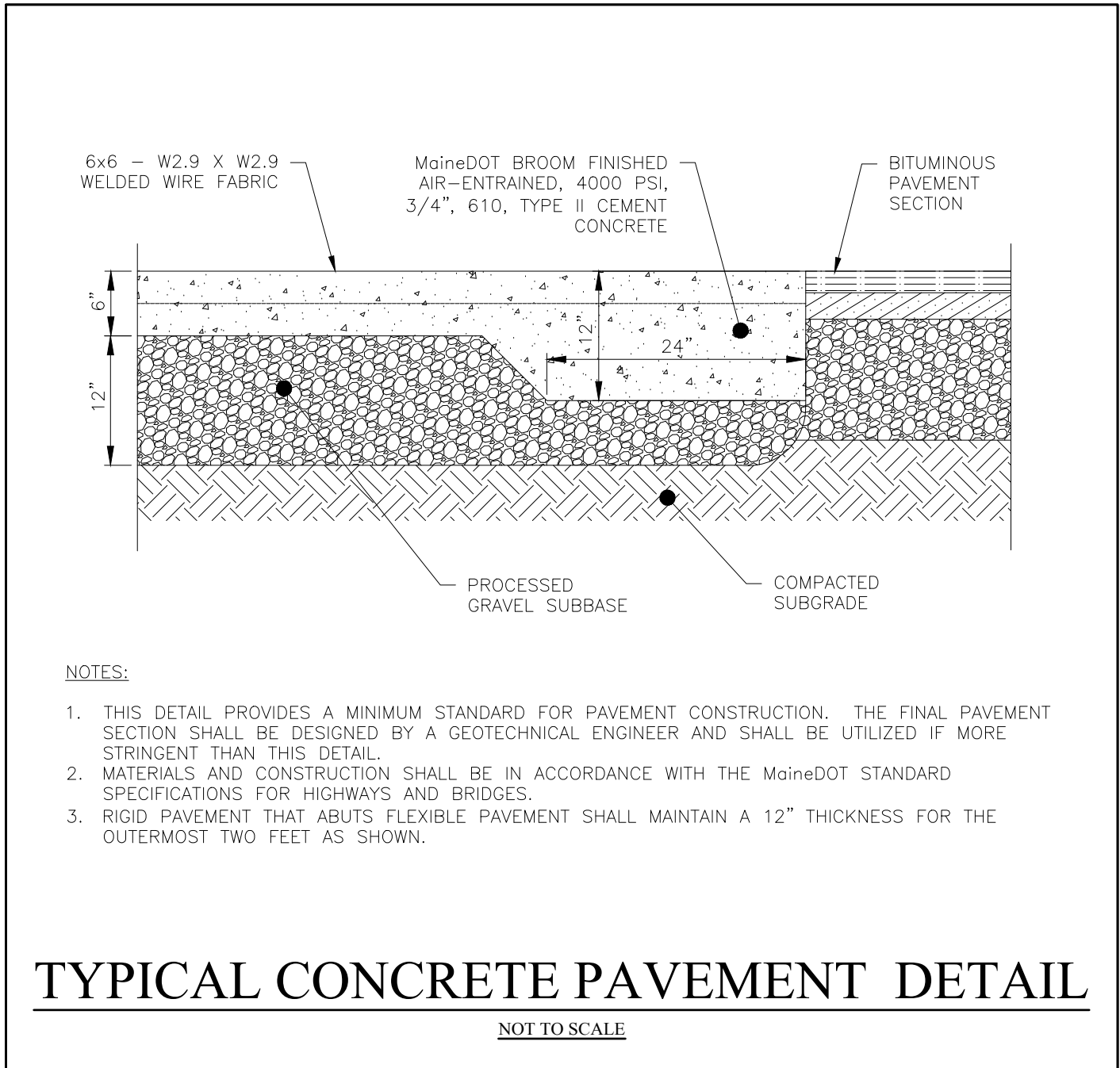
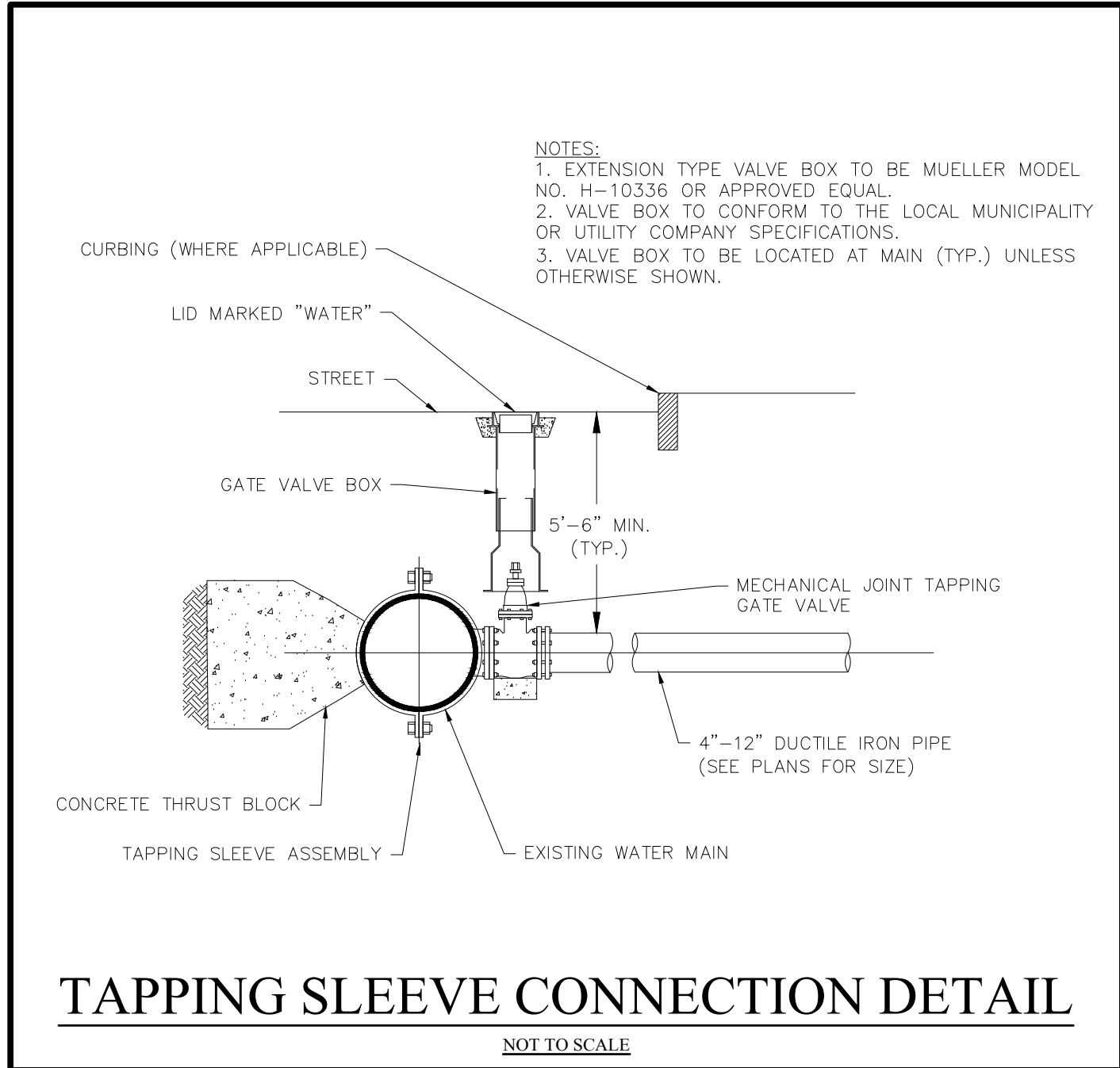
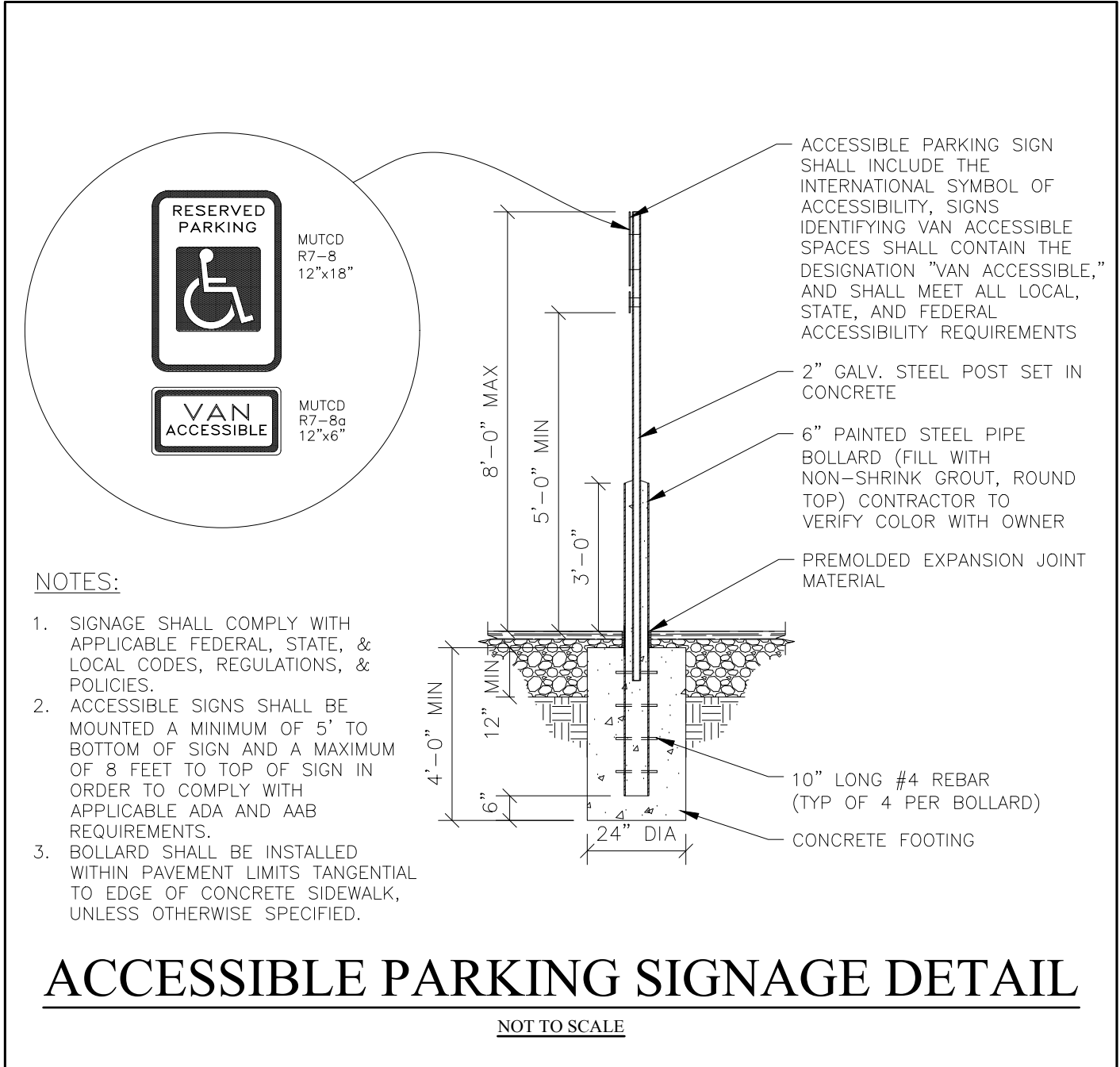
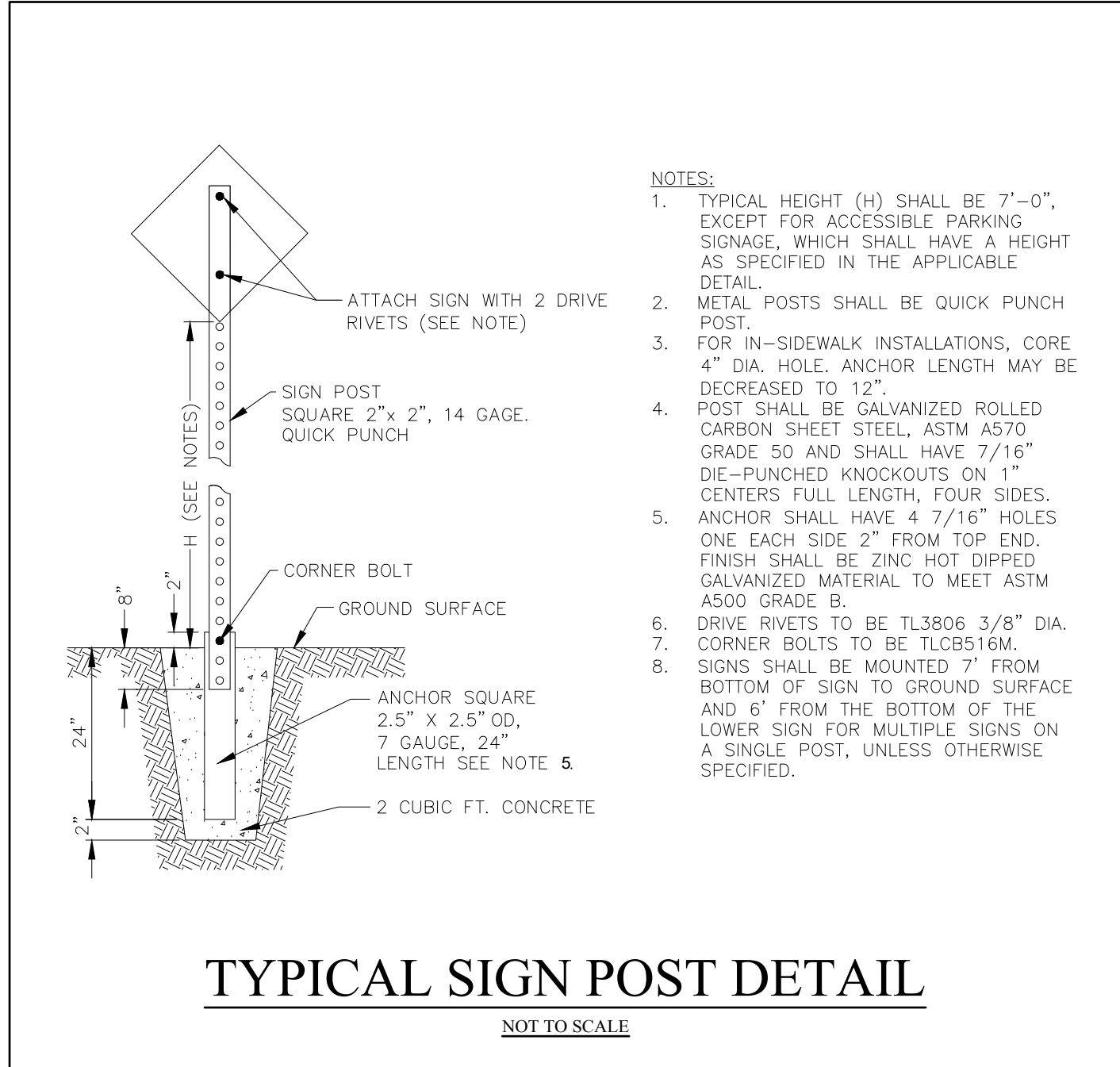
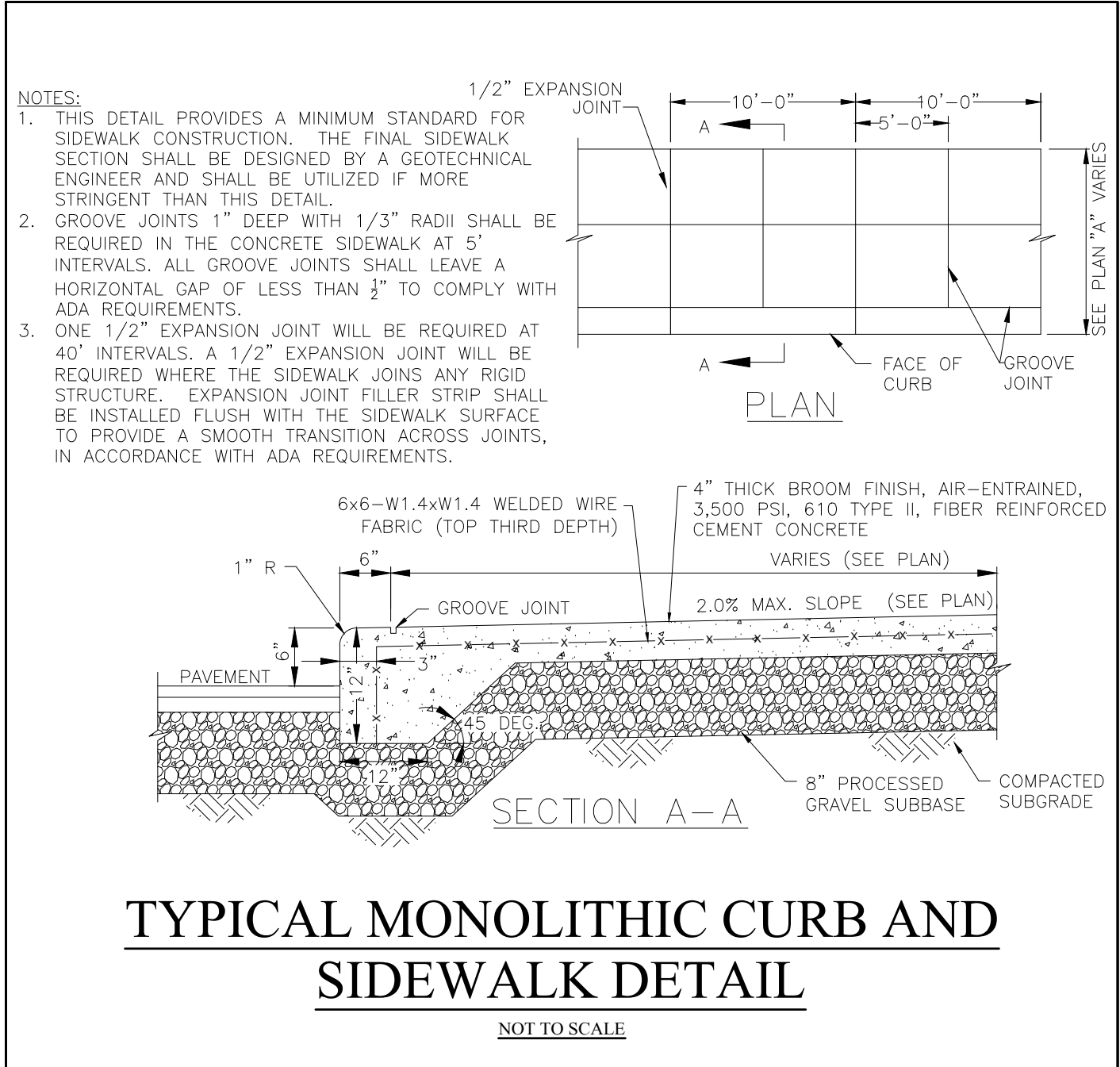
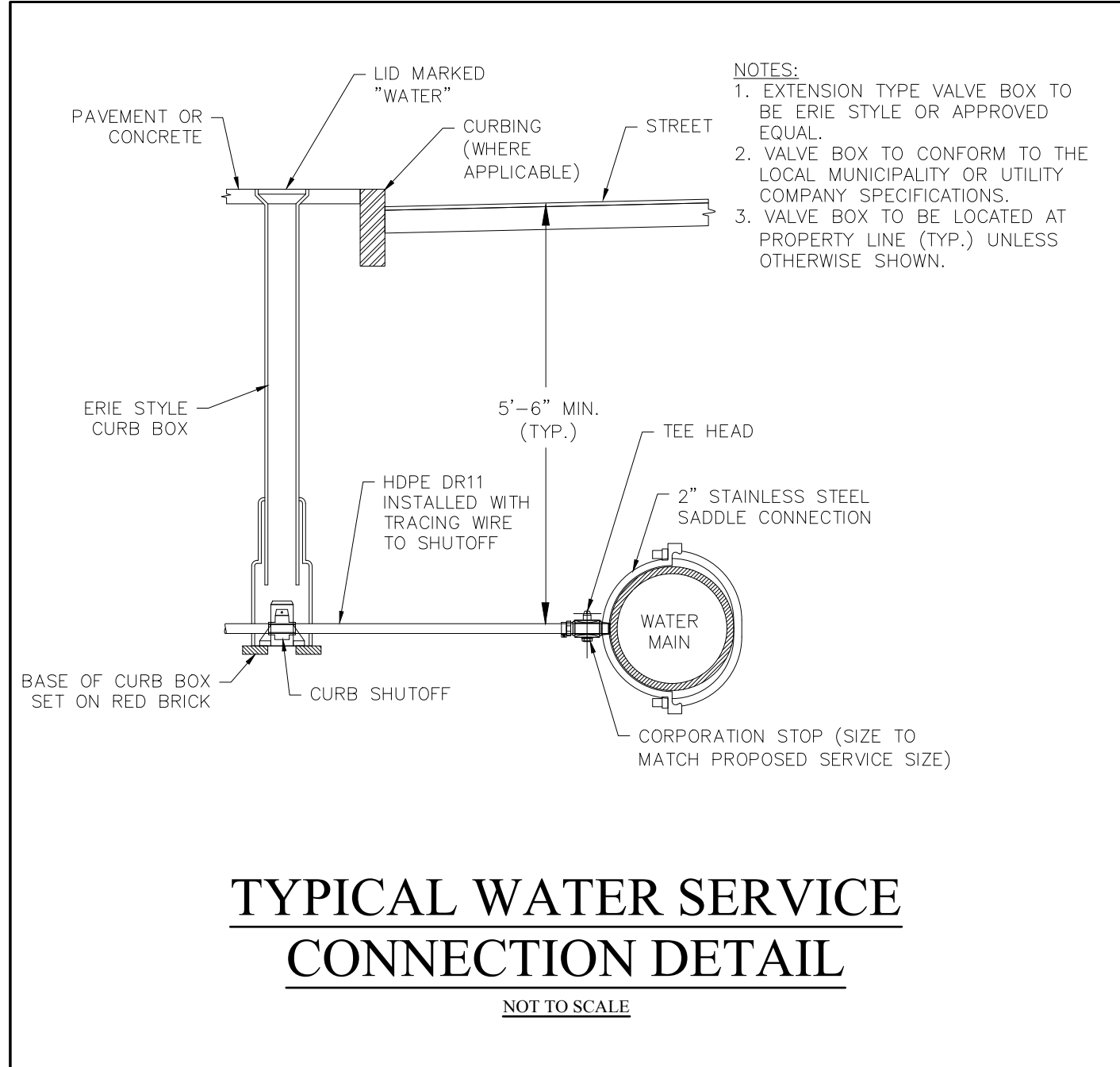
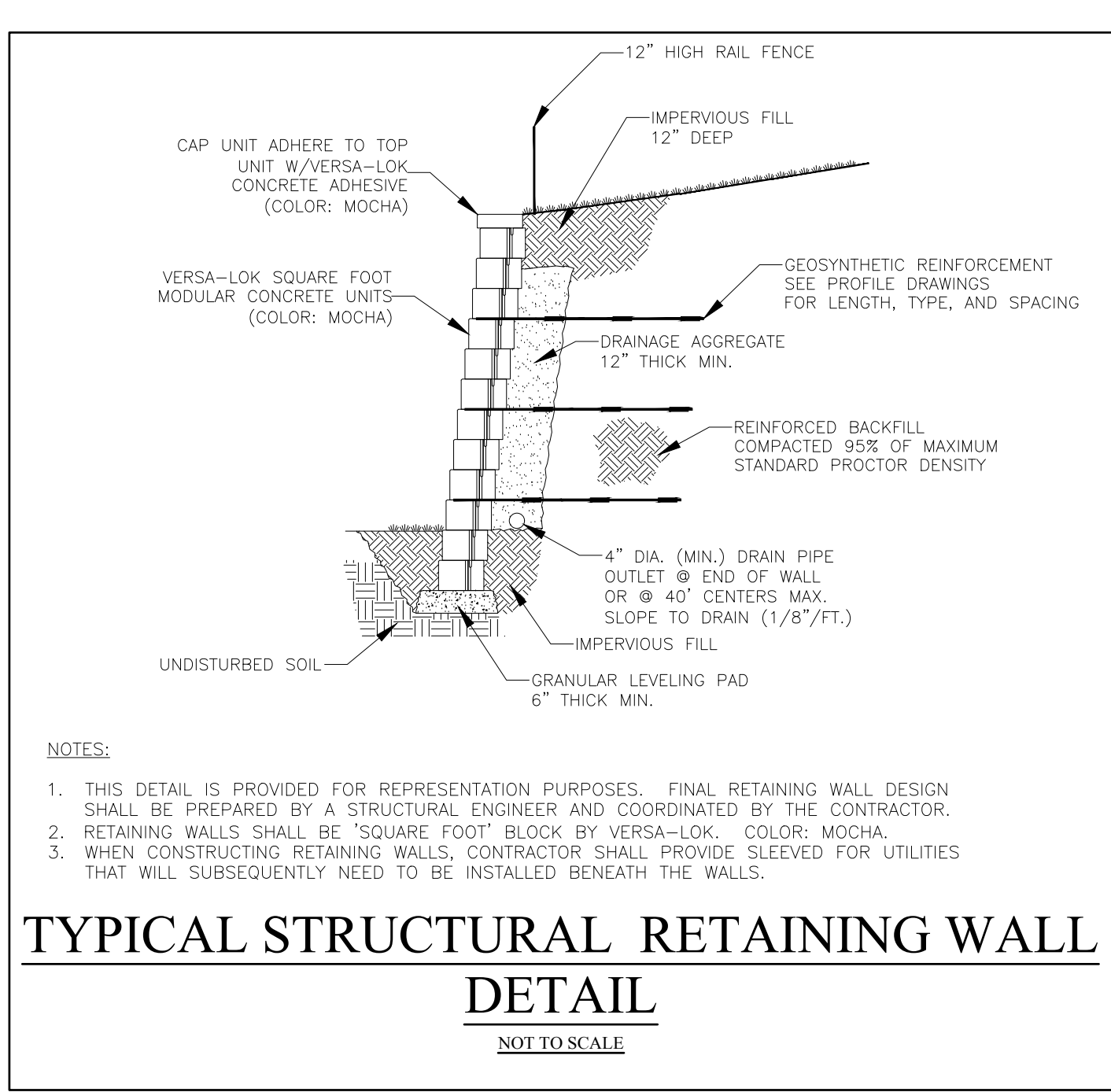
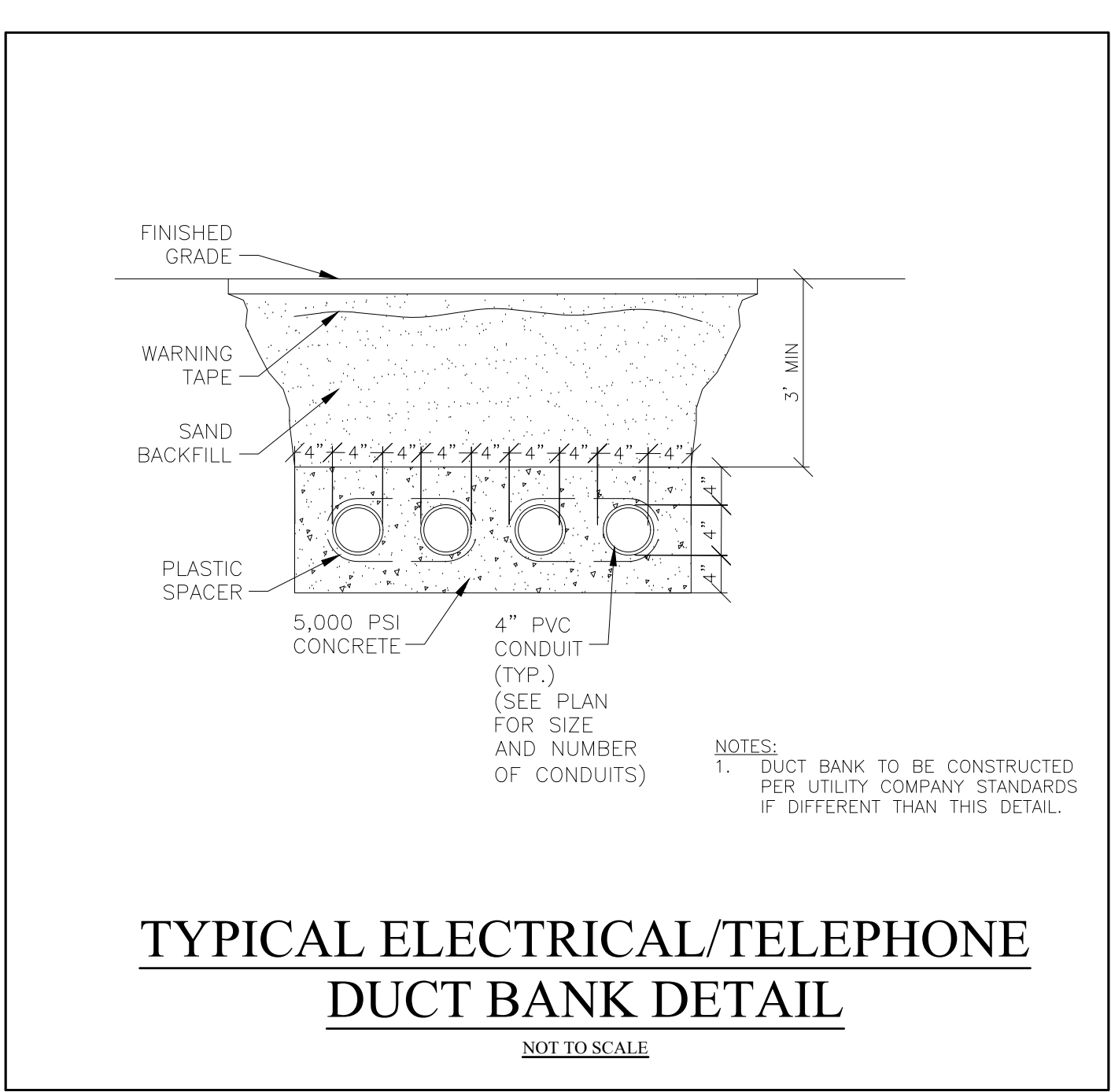
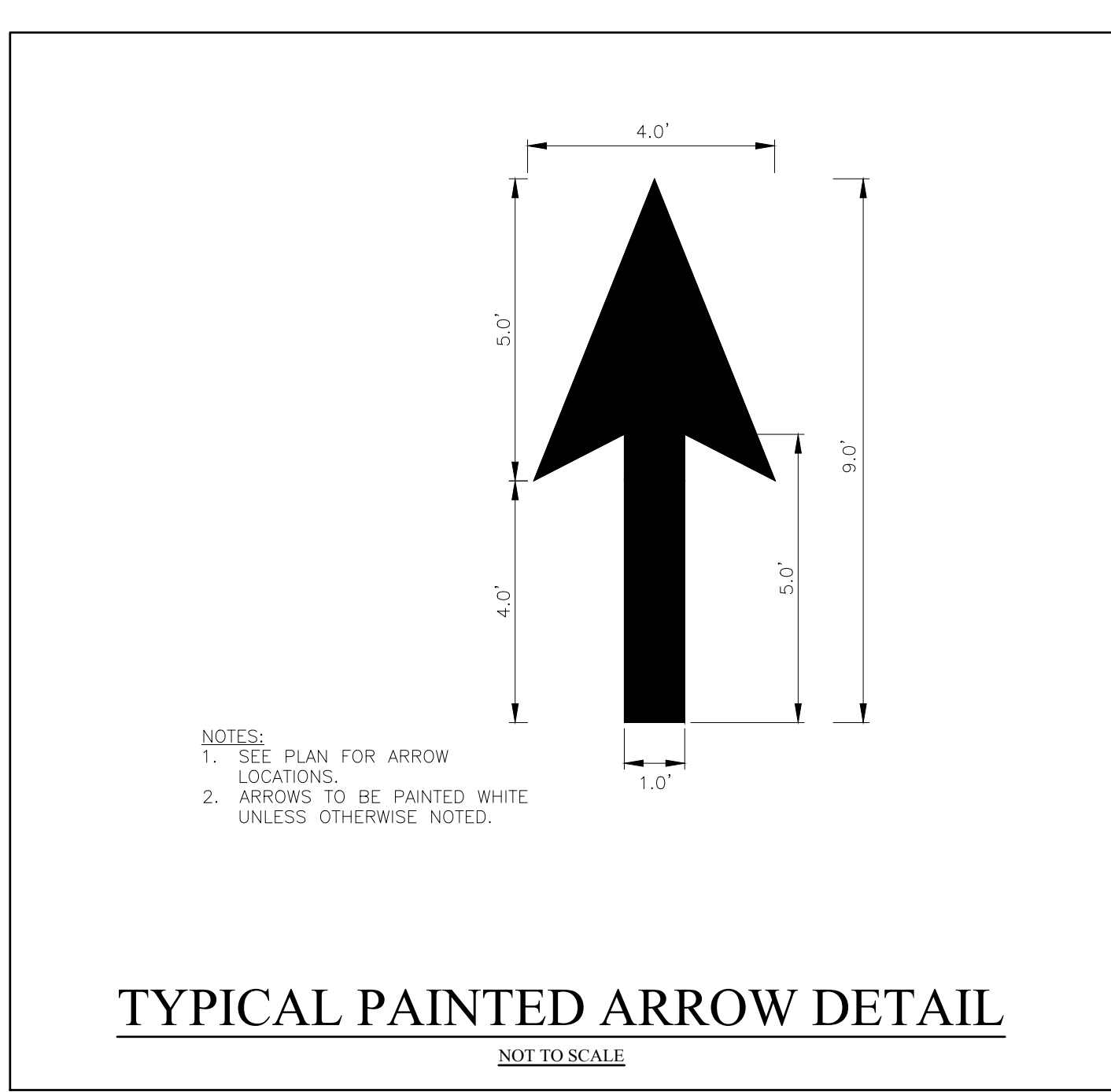
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SHEET:

CONSTRUCTION DETAILS

9

DATE: 06/03/2022



NOT FOR CONSTRUCTION

CDG PROJECT #: 21017

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LICENSED PROFESSIONAL ENGINEER

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AS NOTED

SHEET:

CONSTRUCTION DETAILS

10

DATE: 06/03/2022

WOODEN GUIDERAIL DETAIL

TYPICAL SIDEWALK
CONTROL JOINT DETAIL
NOT TO SCALE

26" STANDARD MANHOLE FRAME & COVER (UNLESS NOTED OTHERWISE) TO BE MARKED "DRAIN"

SET RIM AT FINISHED GRADE

FINISH GRADE

USE BRICK COURSES AS NEEDED TO BRING MANHOLE RIM TO REQUIRED ELEVATION (MIN 2 COURSES AND MAX 5 COURSES OF BRICK) SEAL INSIDE AND OUTSIDE OF BRICK WITH HYDRAULIC CEMENT

STANDARD PRECAST CONCRETE CONE SECTION OR FLAT TOP (AS REQUIRED)

SEAL ALL INTERIOR AND EXTERIOR JOINTS WITH HYDRAULIC CEMENT

STANDARD PRECAST BARREL SECTION COMBINATIONS OF 1'-2", 2'-3" OR 4'-LENGTHS AS NEEDED TO BRING MANHOLE RIM TO REQUIRED ELEVATION (SEE MANHOLE GENERAL NOTE 4 0-4.3.0)

USE NON SHRINK GROUT FOR RCP AND HDPE CONNECTIONS. CAST OPENING IN STRUCTURE. (TYP.)

3,000 PSI CEMENT CONCRETE

UNDISTURBED MATERIAL

1" MIN. OF 3/4" CRUSHED STONE OR EQUIV. OVERLAY INDICATED ON PROFILE

24" Ø OPENING MIN. MANHOLE DIAMETER

SEAL ALL HOLES WITH HYDRAULIC CEMENT BUTYL RUBBER JOINT (TYP.)

SEE TABLE 1 0-4.3.0

STANDARD PRECAST BASE IN 3" LENGTHS (MIN)

SEE TABLE (SEE GENERAL NOTE 4 & DIMENSIONS) FOR BOTTOM SLAB THICKNESS; SEE TABLE 1 0-4.3.0

GRAVITY DRAIN (SIZES VARY)

PLACE JOINT OR COUPLING WITHIN 3" OF WALL ON ALL PIPS

PLAN

26" STANDARD MANHOLE FRAME & COVER (UNLESS NOTED OTHERWISE)

FLOW

FLOW

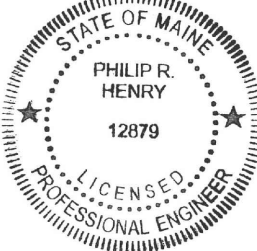
SECTION A-A


TYPICAL DRAIN MANHOLE DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION		
CDG PROJECT #:		21017
REVISIONS:		
REV	DATE	COMMENT
1		
2		
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7		
8		
9		

SEAL:





PHILIP R. HENRY, P.E.

[illegible]

FLUSH W/ FINISHED PAVEMENT

TRANSITION SECTION (STRAIGHT OR CURVED - SEE PLAN)

FULL REVEAL (SEE GRADING PLAN)

STANDARD SECTION OF CURB

TOP OF PROPOSED PAVEMENT

ALL JOINTS TO BE GROUTED

6' MAX.
(UNLESS OTHERWISE SPECIFIED)

NOTES:

- SEE TYPICAL CURB DETAIL FOR ADDITIONAL INFORMATION

26" DIA. I.D. MARKED "SEWER"

FINISHED GRADE

GROUT

PRECAST REINFORCED CONCRETE MANHOLE CONE (SEE NOTE REGARDING FLAT TOP SECTION)

COAT MANHOLE EXTERIOR WITH TWO COATS OF BITUMASTIC COATING

RUBBER FLEXIBLE JOINT SEALANT REQUIRED AT ALL SECTION JOINTS

4'-0" DIA.

PRECAST REINFORCED CONCRETE MANHOLE BARREL

5"

HARD RED BRICK COURSES AS NEEDED (MIN. OF 2 AND MAX. OF 5 COURSES) TO BRING MANHOLE RIM TO REQUIRED ELEVATION

AS REQ'D

MINIMUM 4,000 PSI CONCRETE WET MIX

BRICK INVERT

SLOPE

PRECAST REINFORCED MONOLITHIC CONCRETE MANHOLE BASE AND SLAB

UNDISTURBED EARTH

12" MIN. OF COMPACTED ¾" CRUSHED STONE

NOTES:

1. TYPICAL SANITARY MANHOLE TO BE 4 FEET IN DIAMETER.
2. 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 12 FEET (6" MIN. WALL THICKNESS AND 7" MIN. BASE THICKNESS FOR 5'-0" DIAMETER MANHOLES).
3. UTILIZE FLAT TOP SECTION IF NEEDED FOR SHALLOW INSTALLATION.
4. INNER EDGE OF BRICK TABLE TO BE AT ELEVATION OF CROWN OF TOP OF PIPE.
5. DESIGN LOAD = HS20.
6. ALL INVERTS SHALL BE 4,000 PSI CEMENT CONCRETE IN VOID AREAS AND RED SEWER BRICK CONSTRUCTION.
7. ALL INVERTS SHALL BE BUILT IN PLACE AFTER ALL PIPES HAVE BEEN INSTALLED.
8. FILL ALL LIFTING HOLES WITH NON-SHRINKING GROUT AFTER INSTALLATION.

CATCH BASIN FRAME AND GRATE BY EAST JORDAN IRON WORKS, CAT. NO. 5250 OR APPROVED EQUAL. DOUBLE CATCH BASIN FRAME AND GRATE SHALL BE EAST JORDAN IRON WORKS CAT NO. 5236.

ADJUST TO GRADE WITH COURSES OF CLAY BRICK AND MORTAR OR PRECAST 4,000 PSI CONCRETE RINGS - 12" MAX ALLOWABLE ADJUSTMENT.

2"

4" MIN.

ELIMINATOR

CLASS 'AA' CONCRETE 4,000 PSI PRECAST CONCRETE TO CONFORM TO ASTM C478

4" MIN.

12" MIN.

COMPACTED EARTH

12" OF COMPACTED 3/4" CRUSHED STONE

NON-WOVEN GEOTEXTILE MIRAFIX 140N OR APPROVED EQUAL.

5" MIN. REINFORCED CONCRETE

GRANULAR BACKFILL

OUTLET

FLOW

WATERTIGHT JOINT - TONGUE AND GROOVE W/ BITUMINOUS SEAL

WATERTIGHT NON-SHRINK GROUT TYP.

ECCENTRIC CONE SECTION (TYP.) 18"-24"

10" MIN. THICKNESS (H2O LOADING)

OPTIONAL FLAT TOP SECTION

NOTES:

1. ELIMINATOR CATCH BASIN SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS, CAT. NO. 5250 OR APPROVED EQUAL.
2. CATCH BASIN DIAMETER FOR DOUBLE CATCH BASIN SHALL BE 60".
3. DOUBLE CATCH BASIN COVER SLAB TO BE CAST WITH 22" x 4" OPENING TO ACCOMMODATE FRAME AND GRATE.
4. COVER SLAB TO MEET OR EXCEED H-20 LOADING.

FLEXIBLE SEALANT

#5X12"LG GREASED ROD @ 24" O.C.

#5 BAR CONT.

1/2"

PREFORMED FILLER-FULL DEPTH OF JOINT

4" CONC. SIDEWALK

WWF 6"x6"-W1.4 X W1.4 REINFORCING @ MID-DEPTH

4"

4"

6" COMPACTED GRAVEL BASE

8" 4"

NOTE:
 - CONTROL JOINTS @ 20'-0" O.C. MAX. REFER TO PLAN
 - BROOM FINISH WITH TWO COATS SEALING/CURING COMPOUND.

[illegible]

Cross-Section View:

- Pole W/ 1'-0" ARM AND LIGHTS FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
- EXPLOSION PROOF SEALING FITTING WITH GROUNDING JUMPER BY CONTRACTOR
- 1" CHAMFER
- BASE PLATE COVER FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR
- PLANTING AREA
- 3,000 P.S.I. CONCRETE
- 3/4" x 30' LONG ANCHOR BOLTS (SEE MFG. TEMPLATE) FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR
- 3/4" RIGID CONDUIT 12" MIN. BELOW FINISH GRADE AT UNSCAPED AREAS, 24" MIN. BELOW FINISH GRADE UNDER PAVED AREAS, BY CONTRACTOR
- CONC. FOOTING BY CONTRACTOR
- UNDISTURBED SOIL (MIN. BEARING 1,500 LBS./SQ. FT.)
- 2'-0" DIA.
- NOTE: COORDINATE SEAL-OFF WITH HANDHOLE IN LIGHT POLE.
- HANDHOLE WITH COVER
- SMOOTH FORMED / RUBBER ABOVE GRADE
- LEVELING NUTS
- GRANITE CURB (SEE DETAIL FOR MORE INFO)
- 6"
- EMPACTED BACKFILL
- 4'-0" MINIMUM
- SEE ENLARGED DETAIL FOR BASE

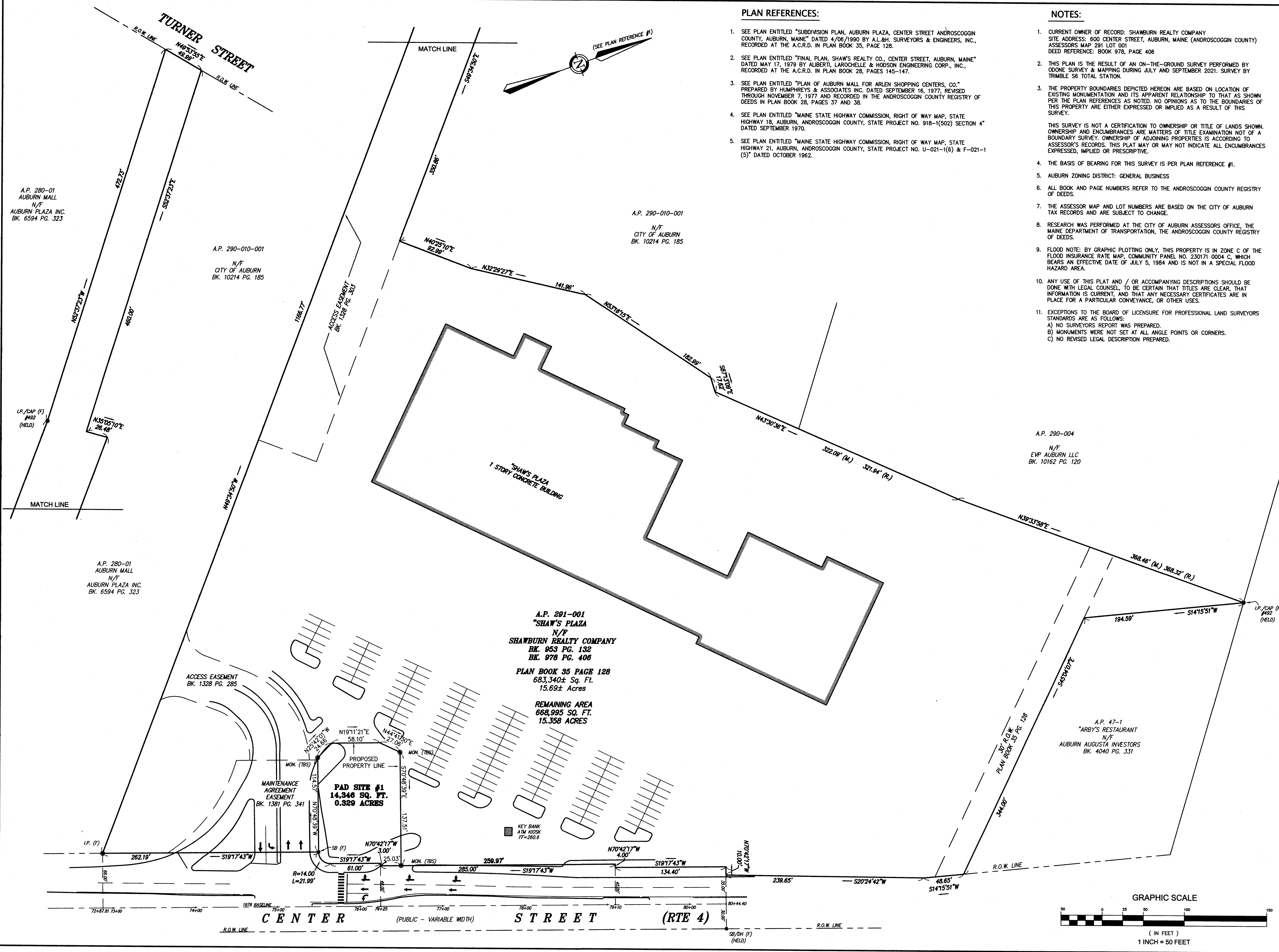
Side Elevation View:

- LUMINAIRE HEAD
- 27'-1"
- 7'-0" - 5'-0"
- FINISH GRADE

LIGHT POLE IN LANDSCAPE AREA

NOT TO SCALE

PROJECT:	
PROPOSED MEDICAL OFFICE DEVELOPMENT	
600 CENTER STREET AUBURN, ME 04210	
SCALE:	
AS NOTED	
SHEET:	
CONSTRUCTION DETAILS	
11	
DATE:	06/03/2022



PLAN REFERENCES:

- SEE PLAN ENTITLED "SUBDIVISION PLAN, AUBURN PLAZA, CENTER STREET ANDROSCOGGIN COUNTY, AUBURN, MAINE" DATED 4/06/1990 BY A.L.B.H. SURVEYORS & ENGINEERS, INC., RECORDED AT THE A.C.R.D. IN PLAN BOOK 35, PAGE 128.
- SEE PLAN ENTITLED "FINAL PLAN, SHAW'S REALTY CO., CENTER STREET, AUBURN, MAINE" DATED MAY 17, 1979 BY ALBERTI, LAROCHELLE & HODSON ENGINEERING CORP., INC., RECORDED AT THE A.C.R.D. IN PLAN BOOK 28, PAGES 145-147.
- SEE PLAN ENTITLED "PLAN OF AUBURN MALL FOR ARLEN SHOPPING CENTERS, CO." PREPARED BY HUMPHREYS & ASSOCIATES INC. DATED SEPTEMBER 16, 1977, REVISED THROUGH NOVEMBER 7, 1977 AND RECORDED IN THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS IN PLAN BOOK 28, PAGES 37 AND 38.
- SEE PLAN ENTITLED "MAINE STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY 18, AUBURN, ANDROSCOGGIN COUNTY, STATE PROJECT NO. 918-1(502) SECTION 4" DATED SEPTEMBER 1970.
- SEE PLAN ENTITLED "MAINE STATE HIGHWAY COMMISSION, RIGHT OF WAY MAP, STATE HIGHWAY 21, AUBURN, ANDROSCOGGIN COUNTY, STATE PROJECT NO. U-021-1(6) & F-021-1(5)" DATED OCTOBER 1962.

NOTES:

- CURRENT OWNER OF RECORD: SHAWBURN REALTY COMPANY
SITE ADDRESS: 600 CENTER STREET, AUBURN, MAINE (ANDROSCOGGIN COUNTY)
ASSESSORS MAP 291 LOT 001
DEED REFERENCE: BOOK 978, PAGE 406
- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY ODOONE SURVEY & MAPPING DURING JULY AND SEPTEMBER 2021. SURVEY BY TRIMBLE S6 TOTAL STATION.
- THE PROPERTY BOUNDARIES DEPICTED HEREON ARE BASED ON LOCATION OF EXISTING MONUMENTATION AND ITS APPARENT RELATIONSHIP TO THAT AS SHOWN PER THE PLAN REFERENCES AS NOTED. NO OPINIONS AS TO THE BOUNDARIES OF THIS PROPERTY ARE EITHER EXPRESSED OR IMPLIED AS A RESULT OF THIS SURVEY.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- THE BASIS OF BEARING FOR THIS SURVEY IS PER PLAN REFERENCE #1.
- AUBURN ZONING DISTRICT: GENERAL BUSINESS
- ALL BOOK AND PAGE NUMBERS REFER TO THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS.
- THE ASSESSOR MAP AND LOT NUMBERS ARE BASED ON THE CITY OF AUBURN TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE CITY OF AUBURN ASSESSORS OFFICE, THE MAINE DEPARTMENT OF TRANSPORTATION, THE ANDROSCOGGIN COUNTY REGISTRY OF DEEDS.
- FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230171 0004 C, WHICH BEARS AN EFFECTIVE DATE OF JULY 5, 1984 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- ANY USE OF THIS PLAN AND / OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- EXCEPTIONS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS ARE AS FOLLOWS:
A) NO SURVEYORS REPORT WAS PREPARED.
B) MONUMENTS WERE NOT SET AT ALL ANGLE POINTS OR CORNERS.
C) NO REVISED LEGAL DESCRIPTION PREPARED.

LEGEND

A.P.	ASSESSORS PARCEL
BK. PG.	BOOK AND PAGE
(F)	FOUND
N/F	NOW OR FORMERLY
(M)	MEASURED
(R)	RECORD
(TBS)	TO BE SET
● LP	IRON PIPE/IRON PIN
■ SB/DH	STONE BOUND/DRILLHOLE

RECORDING INFORMATION:

ANDROSCOGGIN COUNTY REGISTRY OF DEEDS

RECEIVED _____ AT _____ HOUR _____ MIN _____

AND RECORDED IN PLAN BOOK _____ PAGE _____

ATTEST _____ REGISTRAR

APPROVED: CITY OF AUBURN

CHAIRMAN PLANNING BOARD _____ DATE _____

CITY CLERK _____ DATE _____

PLAN OF LAND
600 CENTER STREET
AUBURN, ME 04210

PREPARED FOR:

AUBURN CENTER
STREET, LLC
632 WASHINGTON STREET
SOUTH EASTON, MA 02375

SURVEY BY:



ODONE
SURVEY &
MAPPING

SURVEYING ~ MAPPING ~ PLANNING & CONSULTING

291 Main Street, Suite 5
Northborough, MA 01532
Tel: 508-351-6022 Fax: 508-351-6633

DATE OF SURVEY: APRIL 11, 2022

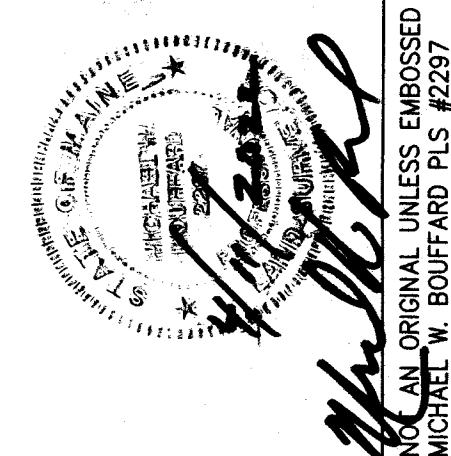
DATE LAST REVISED:

SCALE: 1 INCH=50 FEET

DWG FILE: 1420-02A

PROJECT NO.: 20211420

I CERTIFY EXCLUSIVELY TO THE CLIENT THAT THIS SURVEY
PLAN WAS MADE TO THE NORMAL STANDARD OF CARE,
AND THIS SURVEY GENERALLY CONFORMS TO THE BOARD
OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS
STANDARDS.



\\Volumes\Correia_Sagegate\Backup\KCA\Active Projects\ConvenientMD Urgent Care\CMD AuburnME - 202204\Arch\cad\202104 - Convenient_MD_AuburnME_Shell_V24.rvt Wednesday, May 3, 2021

1 East Elevation (Center Street/Route 4)
SCALE: 1/8" = 1'-0"



2 West Elevation (Parking/Retail)
SCALE: 1/8" = 1'-0"



3 North Elevation (Parking)
SCALE: 1/8" = 1'-0"



4 South Elevation (Entry Drive)
SCALE: 1/8" = 1'-0"



CONVENIENTMD EXTERIOR FINISH NOTES:

Pitched Roofs & Canopies: Standing Seam Metal Roofing, Pac-Clad "Snap Clad" or approved equal, Color: **Colonial Red**

Membrane Roof: Fully Adhered White .060 TPO Membrane on coverboard over R30 min polyiso rigid insulation,

Eave & Canopy Soffits: Pac Clad Aluminum Flush Soffit Panels or approved equal. Upper tower soffit color to match roof color. Lower canopy soffits to be white pvc beadboard, AZEK or approved equal.

Exterior Clapboard Siding: Pre-Finished James Hardie clapboard siding, 4" exposure. Color: Navajo Beige

Exterior Trim: 5/4 PVC, Azek or architect approved equal. Color white

Stone Veneer: Stone Veneer Panels "Boral Versetta Stone" Color/style to be confirmed with architect.

Aluminum Storefront: All Aluminum Storefront doors/windows shall be Kawneer 451T Thermally Broken aluminum storefront system or approved equal.

Two sets of glass exterior double doors with thermally broken aluminum frames with two ADA automatic door openers. Color to be white

Rear Exit Door: Insulated Hollow Metal rear door with ADA push exit hardware, electric strike & FOB access control system.

Envelope Insulation:

-Low slope roof to be R30 min continuous between exterior insulated walls, ensuring continuity of all envelope insulation.

-Exterior Walls to be R26 (4") min Closed cell spray in place polyurethane insulation in stud cavity

-2" min rigid insulation from top of foundation footing to top of slab elevation on outside face of foundation wall, Reinforced Stucco finish over exposed foundation insulation.

Exterior Lighting:

Provide & Install recessed LED lighting fixtures in all canopies, overhangs at canopies/overhangs

Provide & Install Round recessed LED down lights around perimeter of upper & lower canopy/roof overhangs

Provide additional Linear LED wall wash down lights to graze down corner columns of tower.

Provide LED Wall pack lighting at rear doors

Provide Linear LED lighting above tower canopies per electrical drawings.

ARCHITECT:



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ENGINEER:

CLIENT:



PROJECT:

ConvenientMD
600 Center Street
Auburn, ME 04210

SEAL:

Elevations

ISSUE FOR: Progress

ISSUE DATE: 4/12/22

REVISIONS:

A201

PROJECT #: 2021-004

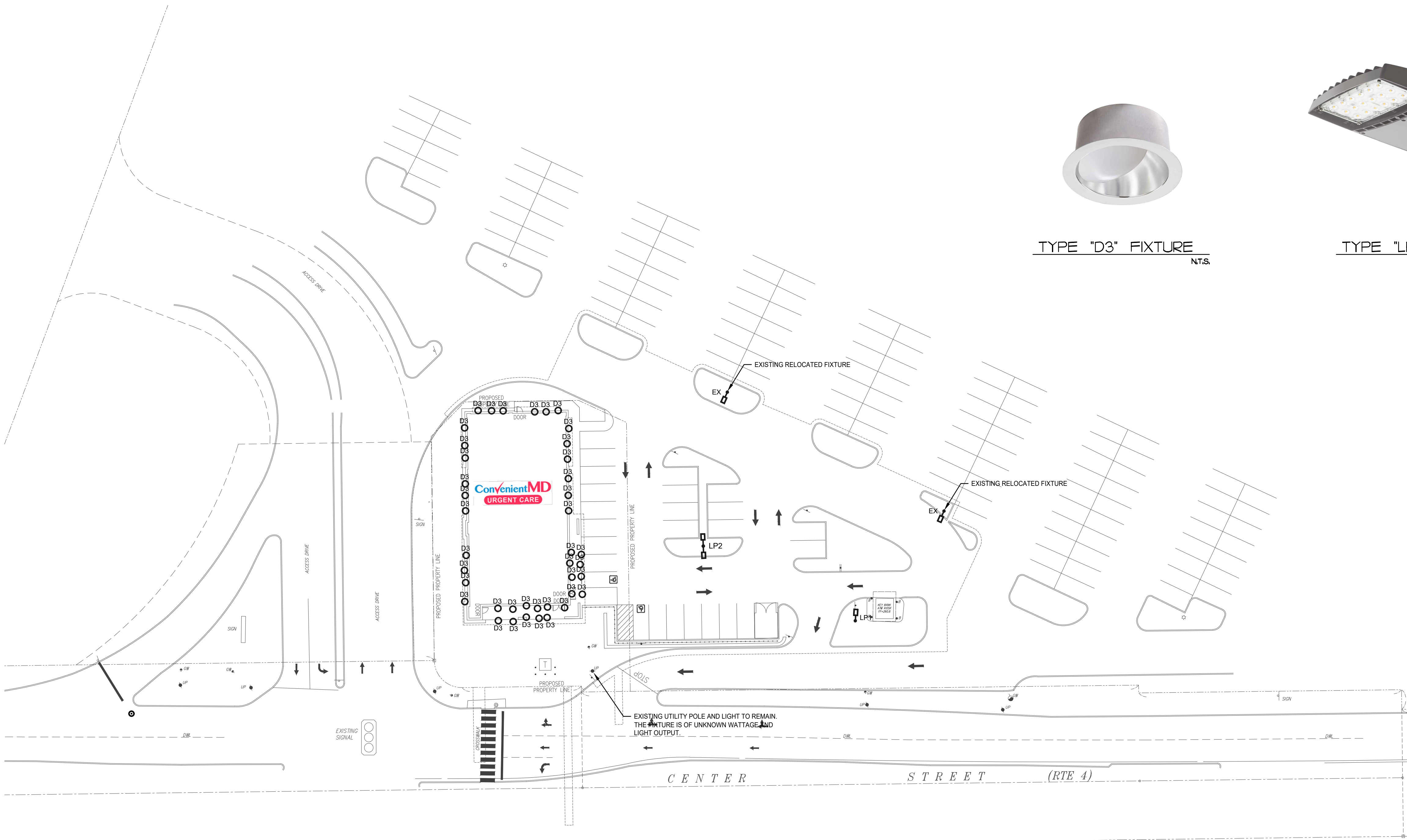
SITE LIGHT FIXTURE SCHEDULE							
TYPE	DESCRIPTION	MANUFACTURER & CATALOG NO.	LAMPS		INPUT		REMARKS
			NO.	LUMENS	VOLTS	WATTS	
D3	CANOPY RECESSED DOWNLIGHT	LIGHTOLIER LIGHTING # 6RN P6RDL 20 835 CC N	LED	2000	120	20	-
LP1	SITE POLE LIGHT FIXTURE, 20' POLE	LITHONIA LIGHTING # RSX1LED P3 30K R3	LED	8959	208	72	B=2, U=0, G=2 (MEETS FORMER IES-NA FULL CUTOFF CLASSIFICATION)
LP2	(2) LP1 FIXTURES BACK TO BACK, 20' POLE	LITHONIA LIGHTING # (2) RSX1LED P3 30K R3	LED	17918	208	144	B=2, U=0, G=2 (MEETS FORMER IES-NA FULL CUTOFF CLASSIFICATION)
SITE LIGHTING FIXTURE NOTES							
1. LIGHTING STATISTICS - AVERAGE= 1.72FC; MAX= 33.5FC (JUST AROUND THE BUILDING WHERE THE DOWNLIGHTS ARE); MIN= 0.2FC; AVE/MIN (UNIFORMITY)= 8.6							
2. LIGHTING LAYOUT AS DESIGNED MEETS THE IES-NA RECOMMENDATIONS FOR PARKING AND DRIVE AREA.							
3. THERE IS AN EXISTING UTILITY POLE LIGHT NEAR THE BUILDING (MARKED ON THE DRAWINGS) TO REMAIN. WE COULD NOT ACCURATELY MODEL THIS FIXTURE SINCE WE HAVE NO INFORMATION REGARDING ITS WATTAGE, LAMP TYPE OR LIGHT OUTPUT.							



TYPE "D3" FIXTURE
N.T.S.



TYPE "LP" FIXTURE
N.T.S.



SITE LIGHTING PLAN
SCALE: 1" = 30'-0"

ARCHITECT:



KEVIN CORREIA ARCHITECTURE LLC
52 NASHUA STREET, SUITE 30
MILFORD, NH 03055
kcorreia@kcarcbs.com | 603-255-3075
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ENGINEER:



CLIENT:



PROJECT:

ConvenientMD
Center Street
Auburn, ME

SEAL:

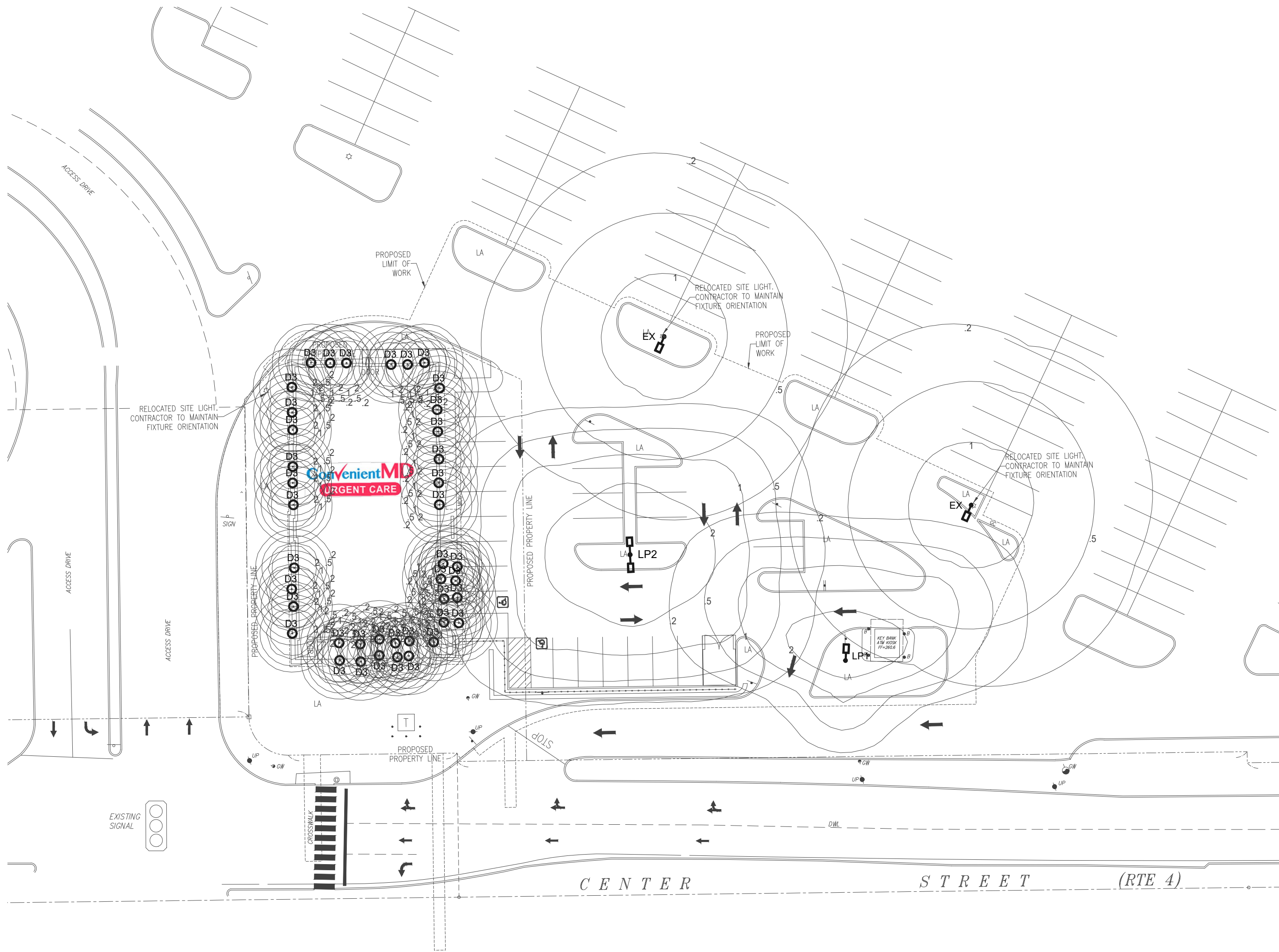


SITE LIGHTING
PLAN & NOTES

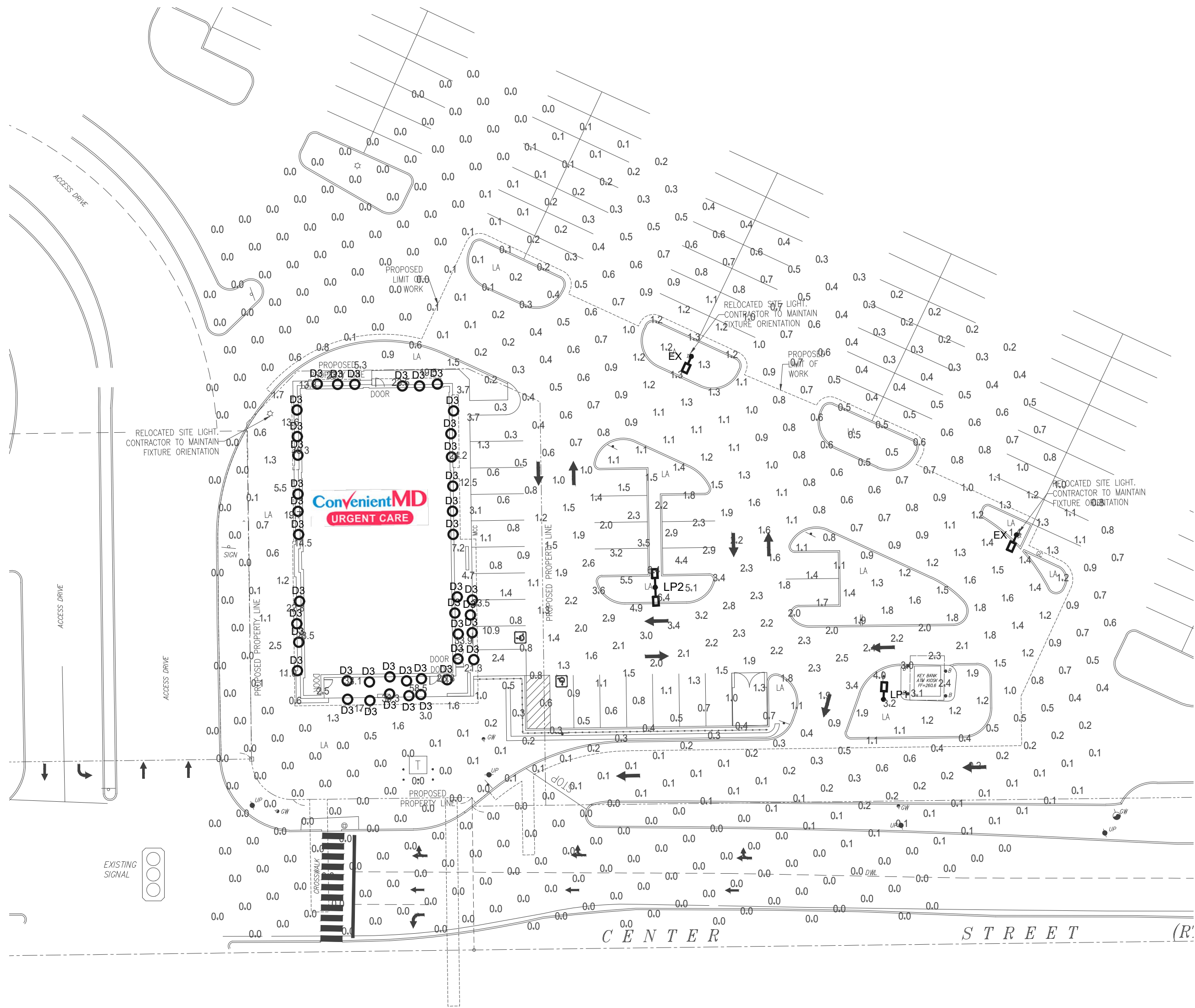
ISSUE FOR: PROGRESS
ISSUE DATE: 05/13/22
REVISIONS:

SE.02A

221325
PROJECT #: 2022-



SITE LIGHTING PLAN - ISO FOOTCANDLE DISPLAY
SCALE: 1" = 30'-0"



SITE LIGHTING PLAN - POINT-BY-POINT DISPLAY
SCALE: 1" = 30'-0"

ARCHITECT:



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ENGINEER:



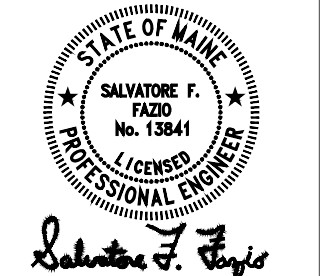
CLIENT:



PROJECT:

ConvenientMD
Center Street
Auburn, ME

SEAL:



SITE LIGHTING
PLAN

ISSUE FOR: PROGRESS
ISSUE DATE: 05/13/22
REVISIONS:

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221325
PROJECT #: 2022-